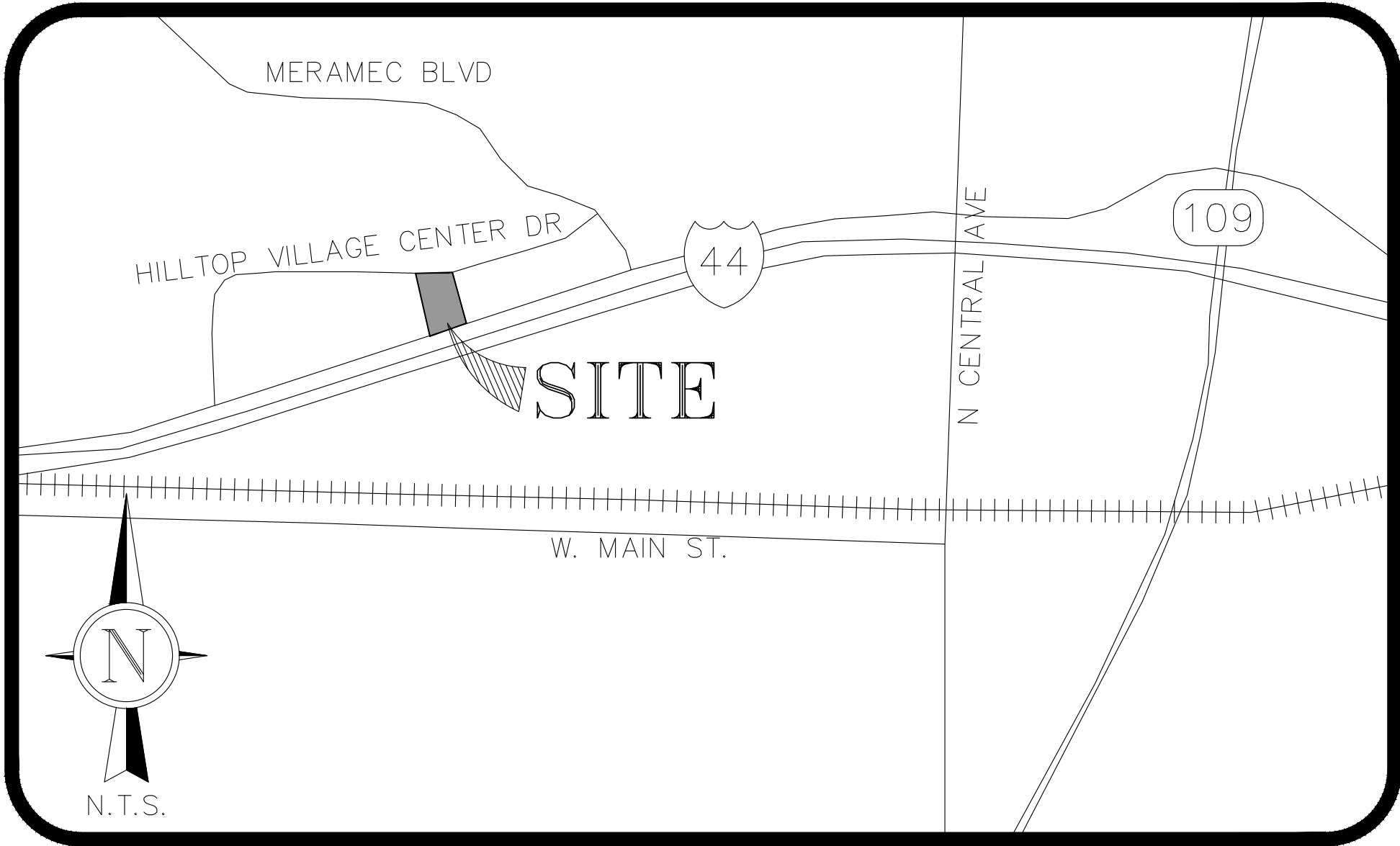


SITE IMPROVEMENT PLANS
SULLIVAN BANK
PART OF LOTS 35 AND 42 OF THE SUBDIVISION OF THE COURTIOSOR
HAMILTON CREEK TRACT IN U.S. SURVEY 3206, TOWNSHIP 44 NORTH, RANGE 3 EAST
CITY OF EUREKA, ST. LOUIS COUNTY, MISSOURI

LEGEND

EXISTING CONTOURS	— 710 —	GUY WIRE	←
PROPOSED CONTOURS	— 710 —	WATER VALVE	⊗
EXISTING SANITARY SEWERS	— ○ —	GAS VALVE	⊗
PROPOSED SANITARY SEWERS	— ● —	GRATE MANHOLE	⊕
EXISTING STORM SEWERS	— □ —	CLEAN OUT	c.o. ○
PROPOSED STORM SEWERS	— ■ —	BOLLARD	•
PROPOSED WATER/FIRE LINE	— W —	PULL BOX	⊠
EXISTING PROCESS SEWERS	— P —	SANITARY MANHOLE	⊙
WATER METER	⊙	CURBE INLET	⊠
EXISTING UTILITY POLE	⊙	GRATE INLET	⊠
EXISTING SPOT ELEV.	+708.50	ELECTRIC METER	⊠
PROPOSED SPOT ELEV.	+709.50	FENCE	— X — X —
EXISTING LIGHT STANDARD	⊙	EXISTING STRUCTURE	▨
PROPOSED LIGHT STANDARD	⊠	EXISTING STRUCTURE TO BE REMOVED	▨
EXISTING FIRE HYDRANT	⊙	TRASH ENCLOSURE	⊠
PROPOSED FIRE HYDRANT	⊙	EXISTING WALL	— W —
POST INDICATOR VALVE	⊙	PROPOSED WALL	— W —
EXISTING UTILITY LINE	— G — W — E —	SILT FENCE	— □ — □ —
EXISTING SIGN	⊙	CONSTRUCTION FENCE	— □ — □ —
PROPOSED SIGN	⊙	GUARD RAIL	— □ — □ —
PROPOSED CONC. PAVT.	▨	GRAVEL BAG SILTATION CONTROL	— — — —
PROPOSED GRAVEL PAVT.	▨	CHAIN LINK FENCE	— X — X — X —
SWALE	←	DECORATIVE ALUMINUM	⊠
EXISTING TREE	⊙	BUILDING ADDRESS	16021
EXISTING TREELINE	⊙		
DETAIL CALLOUT	⊙		
STORM SEWER DESIGNATION	⊙		
SANITARY SEWER DESIGNATION	⊙		



PERTINENT DATA

PROPERTY ADDRESS: 12 HILLTOP VILLAGE DR.
EUREKA, MO 63025

PROPERTY OWNERS: SULLIVAN BANK

ZONING:	C COMMERCIAL
LOCATOR NO.	29V510479
SITE AREA:	0.966 ACRES
EXISTING USE:	VACANT FORMER DRIVE-THRU RESTAURANT
PROPOSED USE:	BANK
WATER SHED:	MERAMEC RIVER
WATER DISTRICT:	CITY OF EUREKA
SEWER DISTRICT:	CITY OF EUREKA
FIRE DISTRICT:	EUREKA FIRE PROTECTION DISTRICT
SCHOOL DISTRICT:	ROCKWOOD
FLOOD INSURANCE RATE MAP (FIRM):	29189C0269K DATE: 2/4/15



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A recording will give you another 800 number you can use to report the problem.

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LEGAL DESCRIPTION

A PARCEL OF LAND BEING PART OF LOTS 35 AND 42 OF THE SUBDIVISION OF THE COURTOIS OR HAMILTON CREEK TRACT IN U.S. SURVEY 3206, TOWNSHIP 44 NORTH, RANGE 3 EAST, ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3 PAGE 85 OF THE CITY (FORMER COUNTY) OF ST. LOUIS RECORDS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A IRON PIPE AT THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 44 (FORMERLY U.S. HIGHWAY 66TR) WITH THE EAST LINE OF LOT 67 OF THE HUEY SUBDIVISION IN US. SURVEY 2071, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 15 PAGE 129 OF THE ST. LOUIS COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID INTERSTATE HIGHWAY
RIGHT-OF-WAY SOUTH 72 DEGREES 21 MINUTES WEST 854.64 FEET TO A POINT; THENCE NORTH 17 DEGREES 39 MINUTES WEST 30.00 FEET TO A POINT; THENCE SOUTH 72 DEGREES 21 MINUTES WEST 30.00 FEET TO A POINT; THENCE SOUTH 17 DEGREES 39 MINUTES EAST 30.00 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF INTERSTATE 44; THENCE SOUTH 72 DEGREES 21 MINUTES WEST 148.31 FEET, ALONG SAID
RIGHT-OF-WAY LINE, TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE, SOUTH 72 DEGREES 21 MINUTES WEST 205.00 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY LINE NORTH 11 DEGREES 48 MINUTES 40 SECONDS WEST 238.01 FEET TO A POINT ON THE PROPOSED SOUTH RIGHT-OF-WAY LINE OF PROPOSED HILLTOP DRIVE, 50 FEET WIDE; THENCE ALONG SAID PROPOSED RIGHT-OF-WAY LINE SOUTH 88 DEGREES 15 MINUTES 30 SECONDS EAST 4.84 FEET TO A POINT OF CURVATURE; THENCE EASTWARDLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 620.00 FEET, AN ARC DISTANCE OF 209.84 FEET TO A POINT OF TANGENCY; THENCE CONTINUING ALONG SAID PROPOSED RIGHT-OF-WAY LINE NORTH 72 DEGREES 21 MINUTES EAST 24.00 FEET TO A POINT; THENCE LEAVING SAID PROPOSED RIGHT-OF-WAY LINE SOUTH 02 DEGREES 38 MINUTES 15 SECONDS EAST 207.06 FEET TO THE POINT OF BEGINNING.

UTILITY/AGENCY CONTACTS

WATER
MISSOURI AMERICAN WATER
727 CRAIG ROAD, SUITE 201
ST. LOUIS, MO 63141
(314) 469-6050

GAS
SPIRE
720 OLIVE ST.
ST. LOUIS MO 63101
(314) 342-0709

ELECTRIC
AMEREN U.E.
P.O. BOX 66149, MC 700
ST. LOUIS, MO 63166-6149
(314) 554-2821

SEWER DISTRICT
MISSOURI AMERICAN WATER
727 CRAIG ROAD, SUITE 201
ST. LOUIS, MO 63141
(314) 469-6050

FIRE PROTECTION
EUREKA FIRE PROTECTION DISTRICT
4849 HIGHWAY 109
P.O. Box 97
EUREKA, MO 63025
Phone: (636) 938-5505
FAX: (636) 938-6970
Email: www.efpd.org

STREET DEPARTMENT
CITY OF EUREKA
100 City Hall Drive
P.O. Box 125
Eureka, MO 63025-0125
Phone: 636-938-5233
FAX: 636-938-4080
Email: www.eureka.mo.us

BENCHMARK:

DATUM: NAVD88 Elev.=463.41 FROM
GPS TIES TO THE MISSOURI
DEPARTMENT OF TRANSPORTATION
GNSS NETWORK

"STANDARD ALUMINUM DISK"
STAMPED SL-21 1990 DISK IS
ALONG THE NORTH SIDE OF WEST
MAIN STREET IN THE SOUTH
RIGHT-OF-WAY OF THE RAILROAD;
43' NORTH OF THE NORTH EDGE OF
WEST MAIN STREET. APPROXIMATELY
700' WEST OF CENTRAL AVENUE.

SITE BENCHMARK:

(Elev.=491.25) FfUS NAVD88- "O" IN
OPEN ON FIRE HYDRANT LOCATED IN THE
CENTER ISLAND NORTH OF WEST 5TH
STREET LOCATED AT A TRACT OF LAND
ADDRESSED 12 HILLTOP VILLAGE CENTER
DRIVE, 7' NORTH AND 10' WEST OF THE
SOUTH AND EASTERN CURB LINES OF THE
CENTER ISLAND.

LOC. NO. 29V510479
ZIP CODE 63025

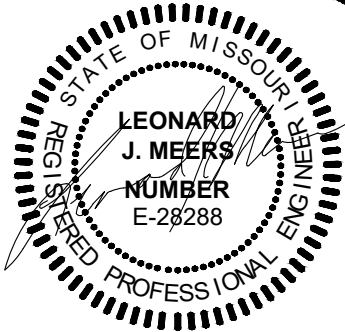
ABBREVIATIONS

A.C.	AIR CONDITIONER	L.S.	LIGHT STANDARD
A.I.	AREA INLET	M.H.	MANHOLE
ASPH.	ASPHALT	N.Y.F.	NOW OR FORMERLY
A.T.G.	ADJUST TO GRADE	O.H.E.	OVERHEAD ELECTRIC
BLDG.	BUILDING	P.B.	PLAT BOOK
C.P.P.	CORRUGATED POLYETHYLENE PIPE	P.G.	PAGE
C.I.	CURB INLET	P.V.C.	POLYVINYL CHLORIDE PIPE
C.O.	CLEANOUT	PAVT.	PAVEMENT
CONC.	CONCRETE	REQ'D.	REQUIRED
D.B.	DEED BOOK	R.C.P.	REINFORCED CONCRETE PIPE
D.G.I.	DOUBLE GRATE INLET	R.O.W.	RIGHT OF WAY
DIA.	DIAMETER	S.S.	STREET SIGN
D.I.P.	DUCTILE IRON PIPE	SAN.	SANITARY SEWER
D.S.	DOWNSPOUT	T.B.A.	TO BE ABANDONED
ELEV.	ELEVATION	T.B.R.	TO BE REMOVED
E.O.P.	EDGE OF PAVEMENT	T.B.R. & R.	TO BE REMOVED & REPLACED
ESMT.	EASEMENT	T.B.R. & RELOC.	TO BE REMOVED & RELOCATED
EXIST.	EXISTING	U.G.E.	UNDERGROUND ELECTRIC
F.E.S.	FLARED END SECTION	U.G.T.	UNDERGROUND TELEPHONE
F.D.	FLOOR DRAIN	U.I.P.	TO BE USED IN PLACE
F.F.	FINISH FLOOR	V.C.P.	VITRIFIED CLAY PIPE
F.H.	FIRE HYDRANT	W.	WIDE
FND.	FOUND	()	INDICATED RECORD INFORMATION
F.O.L.	FIBER OPTIC LINE		
G.P.	GUARD POST		
G.I.	GRATE INLET		

BOUNDARY
LEGEND

○	FOUND 1/2" IRON PIPE UNLESS OTHERWISE NOTED
⊙	FOUND 1/2" IRON ROD UNLESS OTHERWISE NOTED
⊕	FOUND CUT CROSS
⊗	FOUND COTTON PICKER SPINDLE
⊠	FOUND RAILROAD SPIKE
⊡	FOUND CONCRETE MONUMENT
⊢	FOUND STONE
⊣	FOUND R.O.W. MARKER
⊤	FOUND AXLE
●	SET 1/2" IRON ROD UNLESS OTHERWISE NOTED

PREPARED FOR:
ARCHITECTURES SP
CONTACT: JAY SCHOESSEL
8725 BIG BEND BLVD
ST. LOUIS, MO 63119
E: jay@asp-wbe.com
P: (314) 434-9700



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REV. NO.	DATE	REMARKS
1		
2		
3		
4		
5		

SITE DEVELOPMENT PLAN FOR

SULLIVAN BANK

12 HILLTOP VILLAGE DR., EUREKA, MO 63025

TITLE SHEET

SHEET TITLE

JOB NUMBER: 4331.0

DRAWN BY: JRB

DATE: 12/04/25

CHECKED BY: LJM

DATE: 12/04/25

SHEET:

C-1

THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, LOCATION OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.

CONTRACTOR MUST CONTACT "DIG-RITE" (1-800-344-7483) FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATION ON THE SITE.

CONTRACTOR TO CONTACT ALL SEWER, GAS, TELEPHONE, WATER AND ANY OTHER UTILITIES PRIOR TO CONSTRUCTION. ALL CONNECTIONS OR REPAIRS ARE TO BE MADE IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENTS.

2. ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.

3. BOUNDARY AND TOPOGRAPHIC SURVEY BY GRUNES CONSULTING, INC.

4. ALL SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE PLANS AND GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR, PRIOR TO ANY CONSTRUCTION, SHALL NOTIFY THE PROJECT ENGINEER.

5. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH CITY OF EUREKA AND MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT).

6. NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT.

7. ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.

8. ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF EUREKA AND MoDOT.

9. ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY CITY OF EUREKA AND MISSOURI DEPARTMENT OF NATURAL RESOURCES (DMNR). REFER TO SILTATION NOTES.

10. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE DEVELOPER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.

11. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.

12. PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH ELEVATIONS ON PAVED AREAS.

13. A GRADING PERMIT IS REQUIRED PRIOR TO ANY GRADING ON THE SITE. NO CHANGE IN WATERSHEDS SHALL BE PERMITTED.

14. INTERIM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.

15. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH CITY OF EUREKA STANDARDS.

16. ADEQUATE TEMPORARY OFF-STREET PARKING SHALL BE PROVIDED FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROVIDED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.

17. INSTALLATION OF LANDSCAPING AND ORNAMENTAL ENTRANCE MONUMENT OR IDENTIFICATION SIGNAGE CONSTRUCTION IF PROPOSED, SHALL BE REVIEWED BY CITY OF EUREKA FOR SIGN DISTANCE CONSIDERATIONS AND APPROVED PRIOR TO INSTALLATION OR CONSTRUCTION.

18. THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE RELOCATION FOR PROTECTION OF THEIR UTILITY FACILITIES WITHIN PUBLIC ROAD RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL BE CONSIDERED THE DEVELOPERS RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS.

19. ALL DISTURBED EARTH AREAS WITHIN MoDOT COUNTY RIGHT-OF-WAY SHALL BE SEEDED AND MULCHED IN ACCORDANCE TO MoDOT STANDARDS.

20. ADDITIONAL SILTATION CONTROL IF REQUIRED SHALL BE INSTALLED AS REQUIRED BY CITY OF EUREKA PUBLIC WORKS DEPARTMENT.

21. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE WITH THE UTILITY COMPANIES THE REMOVAL OF EXISTING UTILITY COMPANY FACILITIES THAT CONFLICT WITH NEW DEVELOPMENT AND THE INSTALLATION OF NEW SYSTEMS TO SERVE THE PROPOSED DEVELOPMENT.

22. ALL STREETS SHALL BE KEPT OPEN TO TRAFFIC DURING ALL PHASES OF CONSTRUCTION FOR IMPROVEMENTS IN THE RIGHT-OF-WAY. NO DRIVING LANES SHALL BE CLOSED WITHOUT PRIOR WRITTEN PERMISSION FROM CITY OF EUREKA AND MoDOT.

23. ALL WORK WITHIN MoDOT RIGHT-OF-WAY SHALL BE CONSTRUCTED TO MoDOT STANDARDS.

24. THE DEVELOPER OR MUNICIPALITY IS ADVISED THAT UTILITY COMPANIES MAY REQUIRE COMPENSATION FOR RELOCATION OF THEIR FACILITIES WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CITY OF EUREKA AND MoDOT SHALL BEAR NO RESPONSIBILITY FOR UTILITY RELOCATION OR ADJUSTMENT COST OR ASSOCIATED DELAYS.

25. ALL SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASH-DOWN STATION PRIOR TO LEAVING HIS SITE SO THAT NO SEDIMENT IS TRACKED ONTO THE ROADS.

26. A PERMIT SHALL BE OBTAINED FROM THE CITY OF EUREKA PUBLIC WORKS FOR CONSTRUCTION OF RETAINING WALLS.

27. ANY OFFSITE PROPERTY OWNERS AFFECTED BY CONSTRUCTION SHALL BE GIVEN NOTICE 48 HOURS IN ADVANCE OF ANY WORK.

28. ANY DISTURBED OFF-SITE PROPERTY (I.e. BUSHES, FENCES, MAILBOXES, etc.) SHALL BE REPLACED IN KIND AT THE DEVELOPER'S EXPENSE.

29. A DRAIN/LAYER PERMIT SHALL BE OBTAINED FROM THE CITY OF EUREKA DEPARTMENT OF PUBLIC WORKS FOR INTERNAL (PRIVATE) STORM SEWERS.

30. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PER MOST CURRENT DETAILS AND EROSION CONTROL MANUAL.

31. ALL HYDRANTS, POWER POLES OR OTHER OBSTRUCTIONS WITHIN STREET RIGHT-OF-WAYS SHALL HAVE A MINIMUM TWO FOOT SETBACK FROM FACE OF CURB OR EDGE OF SHOULDER OF THE ULTIMATE PAVEMENT SECTION OR AS DIRECTED BY THE CITY OF EUREKA PUBLIC WORKS DEPARTMENT.

32. ANY ENTITY THAT PERFORMS WORK ON MoDOT MAINTAINED PROPERTY SHALL PROVIDE MoDOT WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS AS SPECIFIED AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO MoDOT. UPON REQUEST, MoDOT WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.

33. ACCESS TO ALL PROPERTIES SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS.

34. THE CONTRACTOR SHALL MAINTAIN EXISTING TRAFFIC CONTROL SIGNS (STREET NAME, STOP, NO PARKING, ONE-WAY, TURN, etc.) UNTIL SUCH TIME AS THEY NEED TO BE REMOVED, LOCATED FOR CONSTRUCTION OPERATIONS. TEMPORARY SIGNING SHALL BE PROVIDED IN ACCORDANCE WITH THE CURRENT VERSION OF MUTCD CHAPTER 6 (TEMPORARY TRAFFIC CONTROL ZONE DEVICES). EXISTING SIGNS SHALL NOT LIE ON THE GROUND FOR ANY PERIOD OF TIME. PORTABLE SUPPORTS SHALL NOT BE LOCATED ON SIDEWALKS OR AREAS DESIGNATED FOR PEDESTRIAN TRAFFIC. SIGNS SHALL BE MAINTAINED PROPERLY AND PROPERLY MAINTAINED FOR CLEANLINESS, VISIBILITY, AND PROPER POSITIONING, AND SHALL BE COORDINATED WITH THE OF EUREKA.

ALL STORM AND SANITARY SEWER STRUCTURES AND APPURTENANCES TO BE DEDICATED TO MSD, OR TO BE PRIVATE UNDER MSD INSPECTION, SHALL CONFORM TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, STANDARD CONSTRUCTION POLYPROPYLENE (PP) SEWERS AND DRAINAGE FACILITIES, 2009. THAT WILL INCLUDE STANDARD DETAILS SHOWN THEREIN, AND SHALL INCLUDE ALL SUBSEQUENT CHANGES MADE THERETO.

MATERIALS OF CONSTRUCTION.

HIGH DENSITY POLYETHYLENE (HDPE) PIPE IS NOT ALLOWED FOR GRAVITY SEWERS FOR STORM, COMBINED, OR SANITARY SEWERS THAT ARE "PUBLIC" OR "PRIVATE UNDER MSD INSPECTION."

POLYPROPYLENE (PP) PIPE IS ALLOWED AS FOLLOWS FOR GRAVITY SEWERS THAT ARE "PUBLIC" OR "PRIVATE UNDER MSD INSPECTION":

FOR USE IN SANITARY AND COMBINED SEWERS 12 TO 60 INCHES IN DIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2764 "STANDARD SPECIFICATION FOR 6 TO 60 IN. POLYPROPYLENE (PP) CORRUGATED DOUBLE AND TRIPLE WALL PIPE AND FITTINGS FOR NON-PRESSURE SANITARY SEWER APPLICATIONS."

FOR USE IN STORM SEWERS 12 TO 24 INCHES IN DIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2681 "STANDARD SPECIFICATIONS FOR 12 TO 60 IN. POLYPROPYLENE (PP) DUAL WALL PIPE AND FITTINGS FOR NON-PRESSURE STORM SEWER APPLICATIONS."

FOR USE IN STORM SEWERS 24 TO 60 INCHES INDIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2764 "STANDARD SPECIFICATION FOR 6 TO 60 INC. POLYPROPYLENE (PP) CORRUGATED DOUBLE AND TRIPLE WALL PIPE AND FITTINGS FOR NON-PRESSURE SANITARY SEWER APPLICATIONS."

IF REINFORCED CONCRETE PIPE IS USED FOR SANITARY OR COMBINED SEWERS LARGER THAN 47", ALL JOINTS AND JOINTS SHALL CONFORM TO ASTM C 361. IN ADDITION, IF THE DIAMETER IS LARGER THAN 48", THE JOINT TYPE MUST INCLUDE A GASKET THAT IS CONFINED IN A GROOVE IN THE SPIGOT OF THE PIPE.

2. ALL 8" MAINS AND 6" LATERALS TO BE CONSTRUCTED OF P.V.C. SDR-35 THICKWALL PIPE, A.S.T.M. D-3034.

3. ALL 8" MAIN AND 6" LATERAL JOINTS TO CONFORM TO A.S.T.M. PR SDR-35 THICKWALL COMPRESSION JOINT FOR P.V.C.

4. ALL MANHOLE FRAMES AND COVERS SHALL BE M.S.D. STANDARD FRAME AND COVER.

5. ALL LATERAL SEWER CONSTRUCTION METHODS TO CONFORM TO LATEST STANDARDS AND SPECIFICATIONS OF ST. LOUIS COUNTY PLUMBING CODE.

6. ALL TRENCHES UNDER AREAS TO BE PAVED SHALL BE GRANULARLY FILLED WITH 3/4" CRUSHED LIMESTONE. BACKFILL SHALL BE PLACED IN ACCORDANCE WITH METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARDS.

7. CONTRACTOR TO START LAYING PIPE AT DOWNSTREAM MANHOLE AND WORK UPSTREAM.

8. SANITARY LATERAL TAILSTAKE ELEVATIONS ARE SHOWN ON THE UTILITY PLAN.

9. SANITARY CLEANOUTS SHALL BE LOCATED AT ALL HORIZONTAL AND VERTICAL CHANGES IN DIRECTION OF FLOW OF HOUSE LATERALS AND ANY SANITARY LATERAL OF 100 FEET OR LONGER.

10. TYPE "CC" BEDDING PER M.S.D. STANDARDS REQUIRED FOR PIPES IN ROCK.

11. VERTICAL CLEARANCE BETWEEN SEWER AND WATER MAINS SHALL BE A MINIMUM OF 2'-0".

12. ALL REINFORCED CONCRETE PIPE SHALL BE A MINIMUM CLASS III PIPES. IF REINFORCED CONCRETE PIPE IS USED FOR SANITARY OR COMBINED SEWERS LARGER THAN 27 INCHES, ALL PIPE AND JOINTS SHALL CONFORM TO ASTM C361. IN ADDITION, IF THE DIAMETER IS LARGER THAN 48 INCHES, THE JOINT TYPE MUST INCLUDE A GASKET THAT IS CONFINED IN A GROOVE IN THE SPIGOT OF THE PIPE.

13. MAINTENANCE OF THE SEWERS DESIGNATED AS "PUBLIC" SHALL BE THE RESPONSIBILITY OF THE CITY OF EUREKA UPON DEDICATION OF THE SEWERS TO THE CITY.

14. EXISTING SEPTIC TANKS SHALL BE ABANDONED IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.

15. ANY ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY GROUT FILLED.

16. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS FOR ALL SEWER STRUCTURES, PIPING, FILL MATERIALS, ETC. AND ARE TO BE APPROVED BY THE PROJECT ENGINEER.

17. PIPE JOINTS WITH ADAPTERS AND COUPLINGS SHALL BE SUPPLIED AND INSTALLED WITH TYPE 316 STAINLESS STEEL ADAPTERS AND BOLT CLAMPS (T-BOLT) CONFIGURATION, AND WITH STAINLESS STEEL SHEAR BANDS, BEING A MINIMUM OF TWELVE (12) MILS (MSD STD. CONSPEC. PT. 2, SUBSECTION H 11). WORM DRIVE HOSE CLAMPS AND CONCRETE BACKFILLING (CAUSTICITY) WILL NOT BE ALLOWED AT THOSE JOINTS. GRANULAR BACKFILL SHOULD BE USED. IF FLOWABLE FILL IS REQUIRED, THE CONTRACTOR SHALL WRAP AND TAPE THE ADAPTERS AND COUPLINGS WITH A SIX (6) MIL POLYETHYLENE SHEET.

18. PRIOR TO OBTAINING A CONSTRUCTION PERMIT FROM THE CITY OF EUREKA, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE CITY WITH A COPY OF AND EXECUTED CERTIFICATE OF INSURANCE INDICATING THAT THE PERMITTEE HAS OBTAINED AND WILL CONTINUE TO MAINTAIN COMPREHENSIVE LIABILITY AND COMPREHENSIVE AUTO LIABILITY INSURANCE. THE REQUIREMENTS AND LIMITS SHALL BE AS REQUIRED BY THE CITY OF EUREKA.

19. SOILS ENGINEER WILL VERIFY THAT ALL COMPRESSIBLE MATERIAL HAS BEEN REMOVED PRIOR TO PIPE PLACEMENT AND THAT ALL FILL UNDER STORM AND SANITARY SEWER LINES CONSTRUCTED ABOVE THE ORIGINAL GROUND SURFACE, HAS BEEN COMPACTED TO MEET THE SPECIFIED REQUIREMENTS. THE FILL TO BE PLACED IN A MAXIMUM OF 9-INCH LIFTS. TEST SHALL BE TAKEN AT A MAXIMUM OF 50-FOOT WIDE INTERVALS ALONG THE ROUTE, AT A MAXIMUM INTERVAL OF 2-FOOT VERTICALLY; AND, LATERALLY ON EACH SIDE OF THE PIPE, AT A DISTANCE EQUAL TO THE DEPTH OF FILL OVER THE PIPE. A COPY OF THE RESULTS WILL BE SUBMITTED TO MSD PRIOR TO CONSTRUCTION APPROVAL.

WORK IN ROADWAYS:

1. CITY OF EUREKA PUBLIC WORKS DEPARTMENT SHALL BE GIVEN A MIN. OF 48 HOURS NOTICE BEFORE WORK IS TO BEGIN.
2. ROAD WORK IN ANY STREET SHALL NOT BEGIN BEFORE 8 A.M. AND SHALL END BY 3:00 P.M. TO 12:30 P.M. WITH ONE LANE OF TRAFFIC BEING MAINTAINED AT ALL TIMES ALONG WITH FLAG MAN, BARRICADES, ETC., AS REQUIRED BY THE PUBLIC WORKS DEPARTMENT.
3. THE CONTRACTOR SHALL FURNISH, MAINTAIN, AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING, AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION IN ROADWAYS. ALL FLAGMEN, BARRICADES, WARNING SIGNS, ETC. SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.
4. PAVEMENT TO BE REMOVED SHALL BE SAW CUT AND SHALL BE REPLACED WITH 8 1/2" TYPE "X" BITUMINOUS CONCRETE BASE OVERLAD WITH 2" TYPE "C" BITUMINOUS CONCRETE OR AS INDICATED ON THE PLANS.
5. IF THE INSTALLATION UNDER PAVEMENT AREAS REQUIRES MORE THAN ONE DAY, THE TRENCH SHALL BE BACKFILLED WITH GRANULAR MATERIAL TO WITHIN 1" TO 2" OF THE SURFACE AND PATCH WITH 2" TYPE "C" ASPHALTIC CONCRETE AT THE END OF EACH DAY'S WORK, OR COVERED BY STEEL ROADWAY PLATES..
6. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE UTILITY COMPANY PRIOR TO CONNECTION OF THE PROPOSED UTILITY. CONTRACTOR SHALL APPLY FOR REQUIRED UTILITY PERMITS.
7. ALL EXISTING IMPROVEMENTS THAT ARE DISTURBED SHALL BE REPLACED IN KIND AT THE DEVELOPER'S EXPENSE INCLUDING RE-SODDING, REPLACEMENT OF TREES AND SHRUBBERY, FENCING, ETC.

THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.

CONTRACTOR MUST CONTACT "DIG-RITE" (1-800-344-7483) FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATION ON THE SITE.

CONTRACTOR TO CONTACT ALL SEWER, GAS, TELEPHONE, WATERLINE AND ANY OTHER UTILITIES PRIOR TO CONSTRUCTION. ALL CONDITIONS OR REPAIRS ARE TO BE MADE IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENTS.

- GENERAL CONTRACTOR RESPONSIBLE TO COORDINATE DEMOLITION, RELOCATING, DISCONNECTING, AND CAPPING OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION WITH APPROPRIATE UTILITY COMPANY.
- DUE CARE IS TO BE TAKEN TO AVOID UNDUO DAMAGE TO ADJACENT STRUCTURES/FINISHES AND SCHEDULED ITEMS TO REMAIN.
- GENERAL CONTRACTOR TO REMOVE ALL DEBRIS, RUBBISH, AND OTHER MATERIAL RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE. COORDINATE LOCATION OF DUMPSTER WITH OWNER PRIOR TO ITS DELIVERY. ALL DEBRIS REMOVED FROM SITE SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS IN A LICENSED DEMOLITION LANDFILL.
- IF UNANTICIPATED ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS ARE ENCOUNTERED WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN, NOTIFY ENGINEER IMMEDIATELY.
- GENERAL CONTRACTOR TO COORDINATE ALL PHASING OF DEMOLITION AND NEW CONSTRUCTION WITH OWNER.

PROMPTLY REPAIR DAMAGES TO ADJACENT AREAS SCHEDULED TO REMAIN CAUSED BY DEMOLITION WORK.

- GENERAL CONTRACTOR SHALL CATALOG AND PROPERLY STORE ALL EXISTING ITEMS SCHEDULED TO BE REINSTALLED.
- ALL SEWER STRUCTURES TO BE ABANDONED SHALL HAVE THE STRUCTURE COMPLETELY REMOVED. ALL PIPES TO THE STRUCTURE SHALL BE CAPPED.
- ALL EXISTING SEWER STRUCTURES TO BE USED IN PLACE (U.I.P.) SHALL BE PROTECTED BY THE PLACEMENT OF BARRICADES OR A SIMILAR DEVICE AROUND THE STRUCTURE.

SEWER CONTRACTOR NOTE:

FOR SEWER PIPE (STORM, SANITARY AND COMBINED) WITH A DESIGN GRADE LESS THAN ONE PERCENT (1%), VERIFICATION OF THE PIPE GRADE WILL BE REQUIRED FOR EACH INSTALLED REACH OF SEWER, PRIOR TO ANY SURFACE RESTORATION OR INSTALLATION OF ANY SURFACE IMPROVEMENTS. THE CONTRACTOR'S FIELD SUPERVISOR WILL BE REQUIRED TO PROVIDE DAILY DOCUMENTATION VERIFYING THAT THE AS-BUILT PIPE GRADE MEETS THE DESIGN GRADE THROUGH THE SUBMITTAL OF SIGNED CUT SHEETS TO THE INSPECTOR UPON REQUEST.

FIELD SURVEYED VERIFICATION MUST BE MADE UNDER THE DIRECTION OF A LICENSED FIELD SUPERVISOR OR REGISTERED ENGINEER. THE CONTRACTOR WILL BE REQUIRED TO REMOVE AND REPLACE ANY SEWER REACH HAVING AN AS-BUILT WHICH IS FLATTER THAN THE DESIGN GRADE BY MORE THAN 0.1% SEWERS WITH GRADES GREATER THAN THE DESIGN GRADE MAY BE LEFT IN PLACE, PROVIDED NO OTHER SEWER GRADE IS REDUCED BY THIS VARIANCE IN THE AS-BUILT GRADE.

THE CITY OF EUREKA RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REPLACE ANY SEWER (AT ANY TIME PRIOR TO CONSTRUCTION APPROVAL) FOR WHICH THE AS-BUILT GRADE DOES NOT COMPLY WITH THE GRADE TOLERANCE STATED IN THE ABOVE PARAGRAPH.

THE SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE FIELD VERIFICATION OF THE SEWER GRADE, OR REMOVAL AND REPLACEMENT OF THE SEWER PIPE OR ASSOCIATED APPURTENANCES.

SOILS ENGINEER WILL VERIFY THAT ALL COMPRESSIBLE MATERIAL HAS BEEN REMOVED PRIOR TO FILL PLACEMENT AND THAT ALL FILL, UNDER SANITARY AND STORM SANITARY LINES CONSTRUCTION, PROVE ORIGINAL GRADE HAS BEEN COMPLETED TO 90% OF "MODIFIED PROCTOR". FILL IS TO BE PLACED IN A MAXIMUM OF 9" LIFTS. TESTS SHALL BE TAKEN AT A MAXIMUM OF 50 FOOT INTERVALS ALONG THE ROUTE OF THE PIPE; AT A MAXIMUM OF TWO FOOT VERTICAL AND LATERALLY ON EACH SIDE OF THE PIPE, AT A DISTANCE EQUAL TO THE DEPTH OF FILL OVER THE PIPE.

A COPY OF THESE RESULTS WILL BE SUBMITTED TO OWNER AND PROJECT ENGINEER PRIOR TO CONSTRUCTION.

SANITARY SEWER NOTES:

- A BACKWATER VALVE IF REQUIRED SHALL BE REQUIRED ON ALL BUILDING LATERALS PER LOCAL PLUMBING CODE.
- GREASE INTERCEPTOR TO BE LOCATED IN AN ACCESSIBLE LOCATION FOR INSPECTION. GREASE INTERCEPTOR TO PROVIDE MEANS FOR VISIBLE INSPECTION FROM ABOVE FOR BOTH THE INFLUENT AND EFFLUENT SIDES. SAMPLING MANHOLE TO BE LOCATED ON A PATE LATERAL IN AN ACCESSIBLE LOCATION FOR SAMPLING. SAMPLING MANHOLE SHALL BE LOCATED DOWNSTREAM OF GREASE INTERCEPTOR AND ALL OTHER SANITARY LATERALS. SAMPLING MANHOLE TO PROVIDE SIGNAL GRIG. GREASE INTERCEPTORS AND SAMPLING MANHOLES SHALL BE SHOWN ON THE PLANS AND NOT BE LOCATED IN DRIVE-THRU LANES OR WITHIN PARKING SPACES.
- THE CONTRACTOR SHALL STAY WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS AND MINIMIZE DISTURBANCE WITHIN THE WORK AREA WHEREVER POSSIBLE.
- MAINTENANCE OF THE SEWERS DESIGNATED "PUBLIC" SHALL BE THE RESPONSIBILITY OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT UPON DEDICATION OF THE SEWERS TO THE DISTRICT.
- THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE WILL BE DETERMINED BY THE MSD PIPE INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED.
- SANITARY LATERALS TO BE 6-INCH PVC AND CONSTRUCTED AT 2% MINIMUM SLOPE
- SEDIMENTATION BASIN-TEMPORARY: DURING CONSTRUCTION; IF SITE RUNOFF FLOWS INTO A TEMPORARY SEDIMENT BASIN THAT WILL BE CONVERTED TO A PERMANENT BMP AREA, THEN AFTER THE TRIBUTARY AREA IS COMPLETELY STABLE THE SEDIMENT BASIN WILL NEED TO BE CLEARED OF ALL SILT, SEDIMENT, AND TRASH THAT HAS ACCUMULATED WITHIN IT. OVER EXCAVATE AS NEEDED TO ALLOW FULL DEPTH OF THE BMP SECTION. BMP PLANTING, IF APPLICABLE, CAN BE INSTALLED ONLY AFTER THIS HAS BEEN DONE THE MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE PLANTINGS.
- SHOP DRAWINGS FOR BMPS: MSD SHOP DRAWING SUBMITTAL REQUIRED FOR BMP AND ITS COMPONENTS PRIOR TO CONSTRUCTION. MSD CONTACT: PLEASE CONTACT THE DISTRICT'S CONSTRUCTION MANAGEMENT DIVISION AT (314) 335-2072 FOR QUESTIONS.
- CONSTRUCTION SITE RUNOFF: CONSTRUCTION SITE RUNOFF SHALL NOT FLOW INTO BMP AREAS. ALL STORMWATER FLOW TO BMP AREAS SHALL BE DIVERTED, PLEDGED, OR DISCONNECTED UNTIL THE CONSTRUCTION SITE IS STABLE AND THE MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE BMP ONLINE.
- ALL SEPTIC SEWER SYSTEMS SHALL MEET THE REQUIREMENTS OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR).

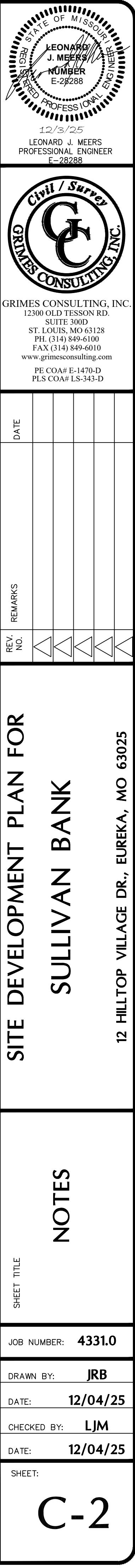
1. ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT INVOLVING THE MOVEMENT OF EARTH SHALL BE IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN, AND THE PERSON ISSUED A LAND DISTURBANCE PERMIT ASSUMES AND ACKNOWLEDGES RESPONSIBILITY FOR COMPLIANCE WITH THE CITY OF EUREKA AND MDRN LAND DISTURBANCE ORDINANCE. THE APPROVED STORM WATER POLLUTION PREVENTION PLAN AT THE SITE OF THE PERMITTED ACTIVITY.
2. NOTICE CITY OF EUREKA 48 HOURS (EXCLUDING WEEKENDS & HOLIDAYS) PRIOR TO THE COMMENCEMENT OF GRADING AND/OR CONSTRUCTION.
3. ALL GRADING AND PLACEMENT OF FILL SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT IF ONE WAS PREPARED FOR THIS SITE.
4. PARKING ON NON-SURFACED AREAS IS PROHIBITED. IN ORDER TO ELIMINATE THE CONCENTRATION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS, CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.
5. THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS, THERETO SHALL BE CLEANED THROUGHOUT THE DAY. THE SURROUNDING STREETS ARE NOT TO BE USED AS PARKING AREAS.
6. EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
7. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DETERMINED NECESSARY BY CITY OF EUREKA.
8. TEMPORARY SILTATION CONTROL MEASURES (STRUCTURAL) SHALL BE MAINTAINED UNTIL 70% VEGETATIVE COVER IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON SITE.
9. WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.
10. IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF A PERMANENT GROUND COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES OR SUDAN GRASSES SHALL BE UTILIZED TO RETARD EROSION.
11. ALL FINISHED GRASSES (AREAS NOT TO BE DISTURBED BY FUTURE IMPROVEMENT) IN EXCESS OF 20% SLOPES (5:1) SHALL BE MULCHED AND TACKED AT THE RATE OF 100 POUNDS PER 1000 SQUARE FEET WHEN SEEDED.
12. NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OR ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET OR PROPERTY FROM SETTLING, CRACKING OR OTHER DAMAGE.
13. STORM SEWER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
14. SILTATION FENCES OR SILT LOGS SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FILLING. AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED, REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE. THE CONTRACTOR SHALL KEEP A LOG BOOK OF SUCH INSPECTIONS/MAINTENANCE AND SHALL MAKE THE LOG BOOK AVAILABLE FOR CITY INSPECTION.
15. ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY, SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) FOR THE ENTIRE DEPTH OF FILL. COMPACTION BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION WITHIN THE STREET RIGHT-OF-WAY AND UNDER ALL PAVED AREAS. ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
16. SOFT SOILS IN THE BOTTOM AND BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND COVERED TO BE PERMANENTLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY LOCATIONS OR IN ANY STORM SEWER LOCATION.
17. ALL TRASH AND DEBRIS ONSITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED IMMEDIATELY AND PROPERLY DISPOSED OF OFFSITE.
18. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS SCHEDULED TO BE RAISED FOR THIS DEVELOPMENT MUST BE IMMEDIATELY AND PROPERLY DISPOSED OF OFFSITE.
19. ANY WELLS, CISTERNS AND/OR SPRINGS, WHICH MAY EXIST ON THIS PROPERTY, SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE TO CITY OF ST. LOUIS CITY AND THE MISSOURI DEPARTMENT OF NATURAL RESOURCES.
20. ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (33%), UNLESS SPECIFICALLY APPROVED OTHERWISE.
21. ALL OFF-SITE DISTURBED AREAS SHALL BE SEEDED AND MULCHED MEETING THE REQUIREMENTS OF MDO&T AND THE SWPPP SEDIMENT AND EROSION CONTROL PLAN.
22. PRIOR TO ANY MAJOR LAND DISTURBANCE ACTIVITY, A LAND DISTURBANCE PERMIT FROM THE STATE OF MISSOURI DEPARTMENT OF NATURAL RESOURCES IS REQUIRED.
23. SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASH DOWN STATION PRIOR TO LEAVING THE SITE. NO TRACKING OF MUD ONTO ROADS SHALL BE ALLOWED.
24. THE CONTRACTOR SHALL KEEP A COPY OF THE LAND DISTURBANCE PERMIT AND SWPPP PLAN ON SITE AT ALL TIMES FOR ANY AGENCY INSPECTION MADE. A PUBLIC NOTIFICATION SIGN MAY BE REQUIRED BY MDRN.
25. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
26. FILL AREAS UNDER PROPOSED STORM AND SANITARY SEWERS, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
27. SEDIMENTATION BASIN-TEMPORARY: DURING CONSTRUCTION; IF SITE RUNOFF FLOWS INTO A TEMPORARY SEDIMENT BASIN THAT WILL BE CONVERTED TO A PERMANENT BMP AREA, THAT THE TRIBUTARY AREA IS COMPLETELY STABLE. THE SEDIMENT BASIN WILL NEED TO BE CLEANED OF ALL SILT, SEDIMENT, AND TRASH THAT HAS ACCUMULATED WITHIN IT. OVER EXCAVATE AS NEEDED TO ALLOW FULL DEPTH OF THE BMP SECTION. BMP PLANTING, IF APPLICABLE, CAN BE INSTALLED ONLY AFTER THIS HAS BEEN DONE. THE INSPECTOR PROVIDES APPROVAL TO PLACE THE PLANTINGS.

1. CITY OF EUREKA PUBLIC WORKS DEPARTMENT SHALL BE GIVEN A MIN. OF 48 HOURS NOTICE BEFORE WORK IS TO BEGIN.
2. ROAD WORK ON ANY STREET SHALL NOT BEGIN BEFORE 8 A.M. AND SHALL END BY 5:00 P.M. TO 3:30 P.M. WITH ONE LANE OF TRAFFIC BEING MAINTAINED ALL TIMES, ALONG WITH FLAG MEN, BARRICADES, ETC., AS REQUIRED BY THE PUBLIC WORKS DEPARTMENT.
3. THE CONTRACTOR SHALL FURNISH, MAINTAIN, AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING, AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION IN ROADWAYS, HIGHWAYS, BARRICADE ALL TIMES, TURNING RIGHT AND LEFT SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.
4. PAVEMENT TO BE REMOVED SHALL BE SAW CUT AND SHALL BE REPLACED WITH 8 1/2" TYPE "C" BITUMINOUS CONCRETE BASE OVERLAIN WITH 2" TYPE "C" BITUMINOUS CONCRETE OR AS INDICATED ON THE PLANS.
5. IF THE INSTALLATION UNDER PAVEMENT AREAS REQUIRES MORE THAN ONE DAY, THE TRENCH SHALL BE BACKFILLED WITH CRUSHED MATERIAL TO WITHIN 1" TO 2" OF THE SURFACE AND PATCH WITH 2" TYPE "C" ASPHALTIC CONCRETE AT EACH OF EACH DAYS WORK, OR COVERED BY STEEL ROADWAY PLATES..
6. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE UTILITY COMPANY PRIOR TO CONNECTION OF THE PROPOSED UTILITY. CONTRACTOR SHALL APPLY FOR REQUIRED UTILITY PERMITS.
7. ALL EXISTING IMPROVEMENTS THAT ARE DISTURBED SHALL BE REPLACED TO THE ORIGINAL CONDITION. THIS INCLUDES BUT IS NOT LIMITED TO, RE-SEEDING, REPLACEMENT OF TREES AND SHRUBBERY, FENCING, ETC.

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MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.

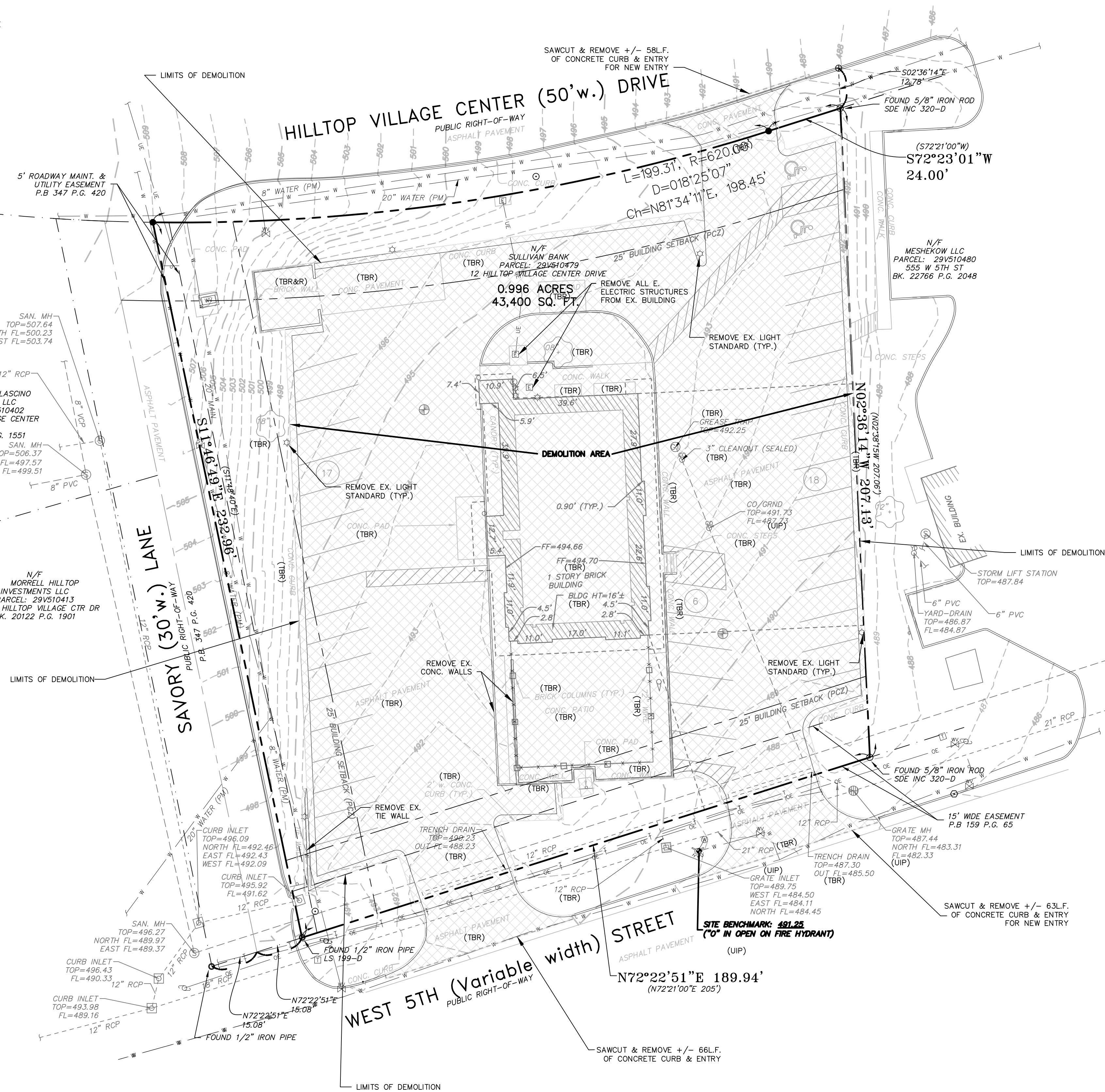
LOC. NO. 29V510479
ZIP CODE 63025



- LEGEND**
- | | |
|--------------------|----------------------------|
| UTILITY POLE | STORM DRAIN W/GRATE INLET |
| GUY WIRE | STORM DRAIN W/AREA INLET |
| LIGHT POLE | STORM DRAIN W/MANHOLE |
| TRAFFIC SIGNAL BOX | SANITARY SEWER W/MANHOLE |
| TRAFFIC LIGHT | OVERHEAD ELECTRIC LINE |
| ELECTRIC BOX | UNDERGROUND ELECTRIC LINE |
| ELECTRIC METER | UNDERGROUND TELEPHONE LINE |
| ELECTRIC MANHOLE | WATER LINE |
| TELEPHONE BOX | GAS LINE |
| TELEPHONE MANHOLE | FENCE: CHAIN LINK OR WIRE |
| FIRE HYDRANT | FENCE: DECORATIVE ALUMINUM |
| WATER METER | GUARDRAIL |
| WATER VALVE | 1' CONTOUR INTERVAL |
| WATER MANHOLE | 5' CONTOUR INTERVAL |
| GAS METER | SPOT ELEVATION |
| GAS VALVE | BUSH OR SHRUB |
| GAS DRIP | TREE W/APPROX. DIAMETER |
| STREET SIGN | |
| BOLLARD OR POST | |
| PARKING METER | |
| MAILBOX | |
| YARD DRAIN | |
| CLEANOUT | |
| FLARED END SECTION | |

- ABBREVIATIONS**
- | | |
|---------------------------------------|---|
| ADS - ADVANCED DRAINAGE SYSTEMS, INC. | N.T.S. - NOT TO SCALE |
| ATG - ADJUST TO GRADE | O.C. - ON CENTER |
| B.M. - BENCHMARK | PAVT. - PAVEMENT |
| C.I. - CURB INLET | P.C. - PORTLAND CEMENT |
| C.O. - CLEAN OUT | PCC - PRECAST CONCRETE |
| CMP - CORRUGATED METAL PIPE | P.S.I. - POUNDS/SQUARE INCH |
| CONC. - CONCRETE | PROP. - PROPOSED |
| C.Y. - CUBIC YARDS | R.C. - REINFORCED CONCRETE |
| D.C.I. - DOUBLE CURB INLET | R.R. - RAIL ROAD |
| DIP - DUCTILE IRON PIPE | RCP - REINFORCED CONCRETE PIPE |
| DIA. - DIAMETER | S.F. - SQUARE FOOT |
| DS - DOWNSPOUT | S.Y. - SQUARE YARD |
| ELEV. - ELEVATION | SAN - SANITARY |
| EX - EXISTING | SCH - SCHEDULE |
| FD - FLOOR DRAIN | SWPPP - STORM WATER POLLUTION PREVENTION PLAN |
| FF - FINISH FLOOR | TBA - TO BE ABANDONED |
| FL - FLOW LINE | TBR - TO BE REMOVED |
| G.I. - GRATE INLET | TYP. - TYPICAL |
| GAL. - GALLON | UIP - USE IN PLACE |
| H.G. - HYDRAULIC GRADE | VCP - VITRIFIED CLAY PIPE |
| HYD - HYDRANT | YD - YARD DRAIN |
| MAX - MAXIMUM | WV - WATER VALVE |
| MH - MANHOLE | |
| MIN - MINIMUM | |

PREPARED FOR:
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P: (314) 434-9700



BENCHMARK:

DATUM: NAVD88 Elev.=463.41 FROM GPS TIES TO THE MISSOURI DEPARTMENT OF TRANSPORTATION GNSS NETWORK

"STANDARD ALUMINUM DISK" STAMPED SL-21 1990. DISK IS ALONG THE NORTH SIDE OF WEST MAIN STREET IN THE SOUTH RIGHT-OF-WAY OF THE RAILROAD; 43' NORTH OF THE NORTH EDGE OF WEST MAIN STREET. APPROXIMATELY 700' WEST OF CENTRAL AVENUE.

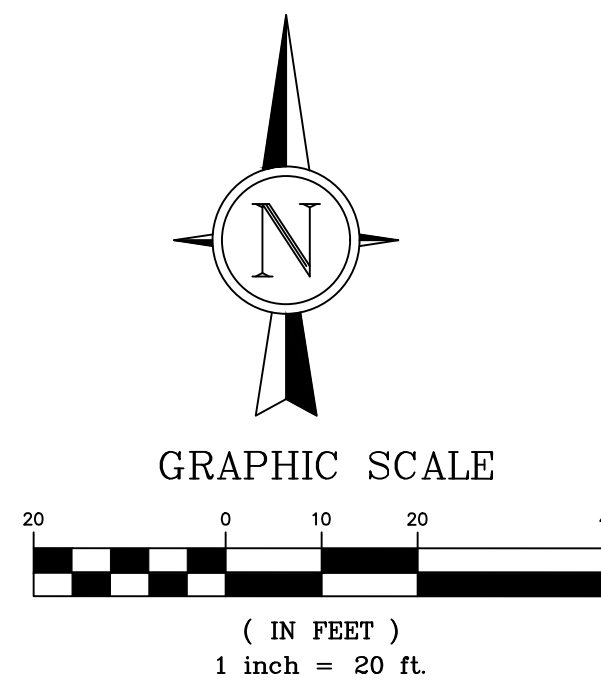
SITE BENCHMARK:

(Elev.=491.25) F1US NAVD88 - "O" IN OPEN ON FIRE HYDRANT LOCATED IN THE CENTER ISLAND NORTH OF WEST 5TH STREET LOCATED AT A TRACT OF LAND ADDRESSED 12 HILLTOP VILLAGE CENTER DRIVE, 7' NORTH AND 10' WEST OF THE SOUTH AND EASTERN CURB LINES OF THE CENTER ISLAND.



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LOC. NO. 29V510479
ZIP CODE 63025



STATE OF MISSOURI
LEONARD J. MEERS
NUMBER E-28288
12/3/25
LEONARD J. MEERS
PROFESSIONAL ENGINEER
E-28288

Civil / Survey
GRIMES CONSULTING, INC.

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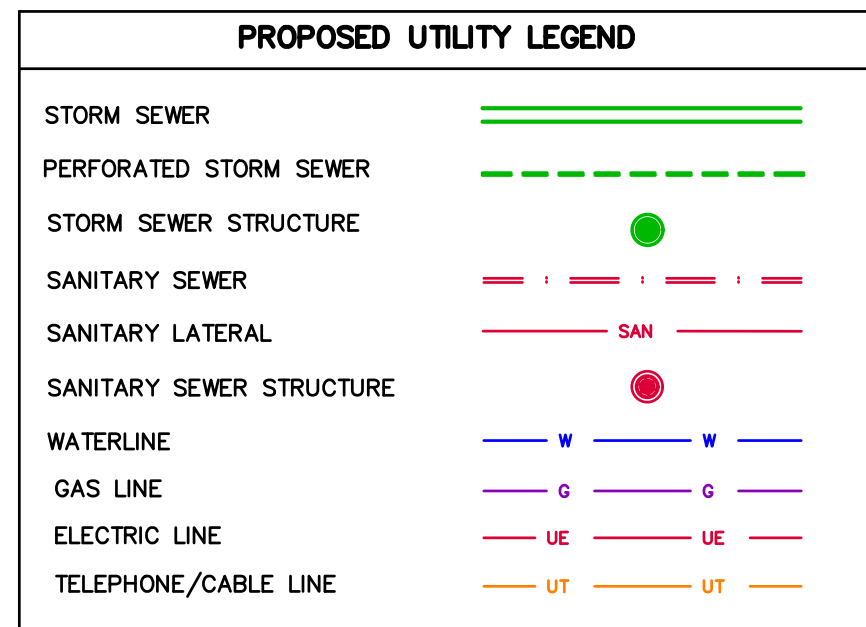
DATE	
REMARKS	
REV. NO.	

SITE DEVELOPMENT PLAN FOR
SULLIVAN BANK
12 HILLTOP VILLAGE DR., EUREKA, MO 63025

EXISTING SITE & DEMO PLAN

ISSUED FOR PERMIT 12/04/25

SHEET TITLE	EXISTING SITE & DEMO PLAN
JOB NUMBER:	4331.0
DRAWN BY:	JRB
DATE:	12/04/25
CHECKED BY:	LJM
DATE:	12/04/25
SHEET:	C-3



NOTE: ALL PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 20' IN HEIGHT FROM FINISHED GRADE.



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- 2.) ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
 - 3.) ALL SIDEWALKS TO BE CONSTRUCTED TO THE CITY OF EUREKA STANDARDS.
 - 4.) ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF EUREKA STANDARDS.
 - 5.) NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF EUREKA AND THE OFFICE OF THE ENGINEER.
 - 6.) STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLE ARE NOT ADEQUATE DISCHARGE POINTS.
 - 7.) ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF EUREKA STANDARDS.
 - 8.) A GRADING PERMIT IS REQUIRED PRIOR TO ANY GRADING ON THE SITE. NO CHANGE IN WATERSHEDS SHALL BE PERMITTED.
 - 9.) INTERIM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.
 - 10.) THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH THE CITY OF FRONTENAC AND MSD STANDARDS.
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TYPE	STANDARD	ACCESSIBLE	TOTAL
SURFACE	28	2	30
TOTAL	28	2	30

ORDINANCE PARKING REQUIRED: (BANK OVER 4,000SF)
1 PS PER 200 SF GROSS FLOOR AREA = 1* (5885/200) = 30 PS

TOTAL REQUIRED PARKING=	30 PS
TOTAL PARKING PROVIDED=	30 PS

MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 2, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 26 AND 50, PER ADAAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 2

SITE AREA = 43,420 S.F.
BUILDING COVERAGE = 5,885 S.F.
PAVED AREA = 24,170 S.F.
DIFFERENCE = 13,361 S.F. GREENSPACE

$$\frac{[(13,361 \text{ S.F.}) / (43,420 \text{ S.F.})] \times 100 = 30.77\% \text{ GREENSPACE}}$$
$$\frac{[(5,885 \text{ S.F.}) / (43,420 \text{ S.F.})] \times 100 = 13.55\% \text{ FLOOR AREA RATIO}}$$



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MISSOURI ONE-CALL SYSTEM INC.

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LOC. NO. 29V510479
ZIP CODE 63025

PREPARED FOR:
ARCHITEXTURES SP
CONTACT: JAY SCHOESSEL
8725 BIG BEND BLVD
ST. LOUIS, MO 63119
E: jay@asp-wbe.com
P: (314) 434-9700

LEGEND

PROPOSED CONCRETE BARRIER CURB
PROPOSED BUILDING
EXISTING FEATURES
PROPOSED FEATURES
PROPERTY LINES
ORNAMENTAL PICKET FENCE
PROPOSED SITE RETAINING WALL
SIDEWALK
CONCRETE PAVEMENT

PROPOSED UTILITY LEGEND

STORM SEWER
PERFORATED STORM SEWER
STORM SEWER STRUCTURE
SANITARY SEWER
SANITARY LATERAL
SANITARY SEWER STRUCTURE
WATERLINE
GAS LINE
ELECTRIC LINE
TELEPHONE/CABLE LINE

NOTE: SANITARY LATERALS TO BE 6" PVC AT 2% MINIMUM SLOPE.

NOTE: REMOVE REPLACE OR REHAB NOTE: THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE WILL BE DETERMINED BY THE MISSOURI-AMERICAN FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED.

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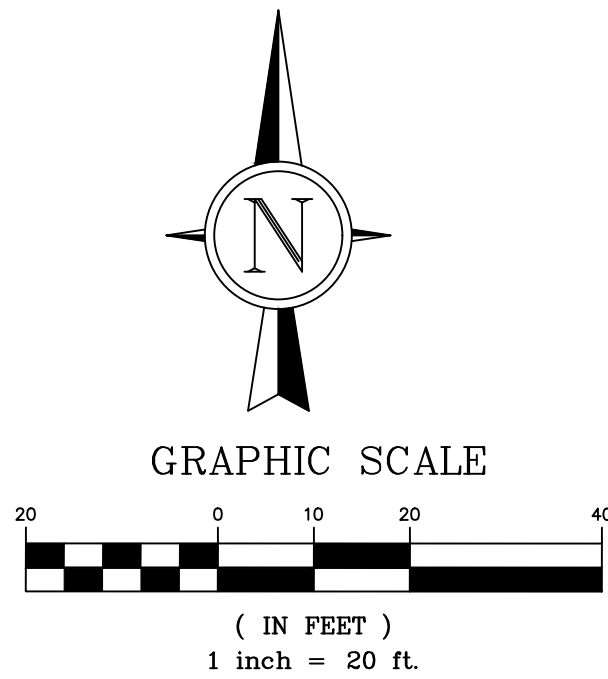
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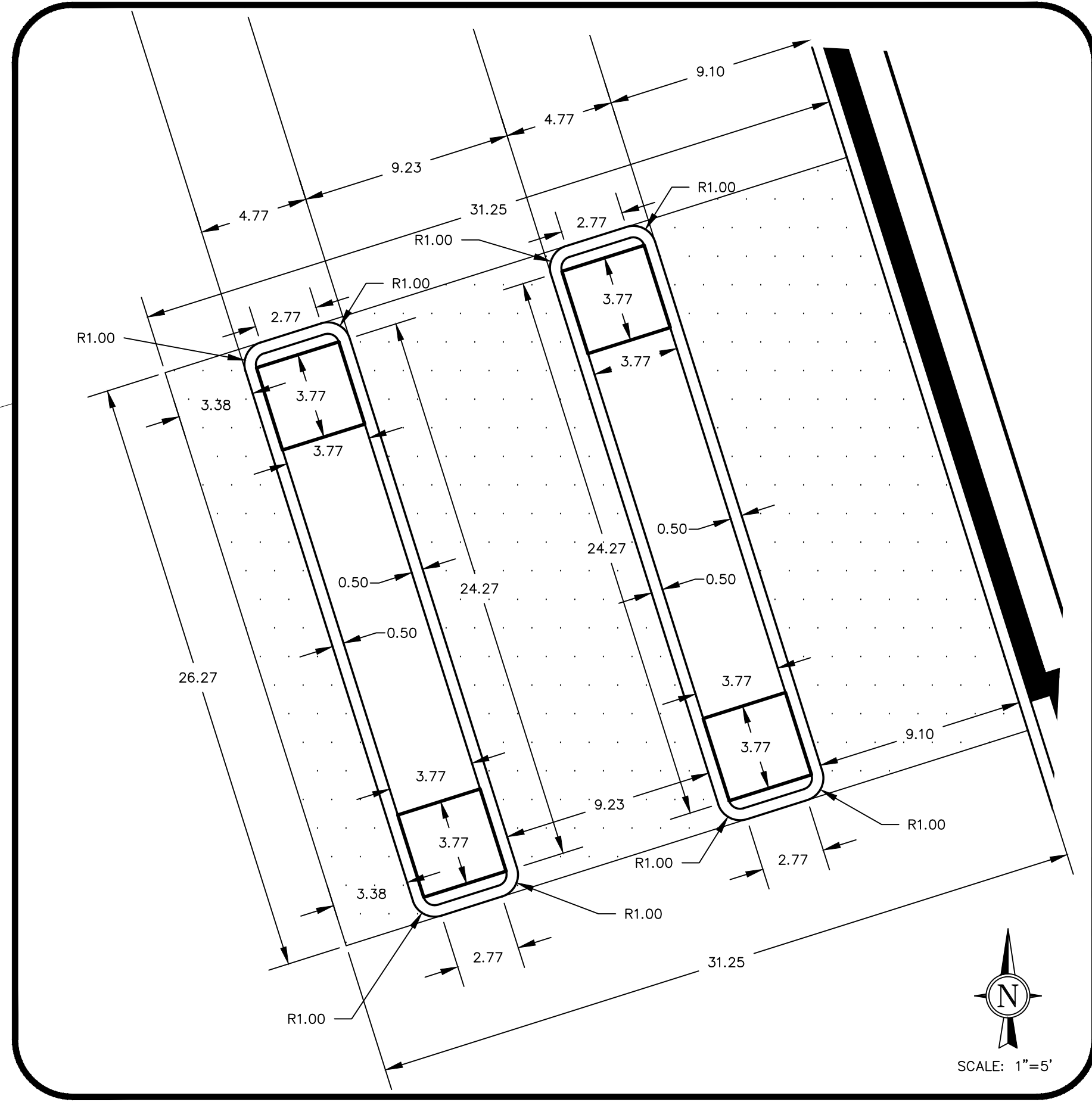
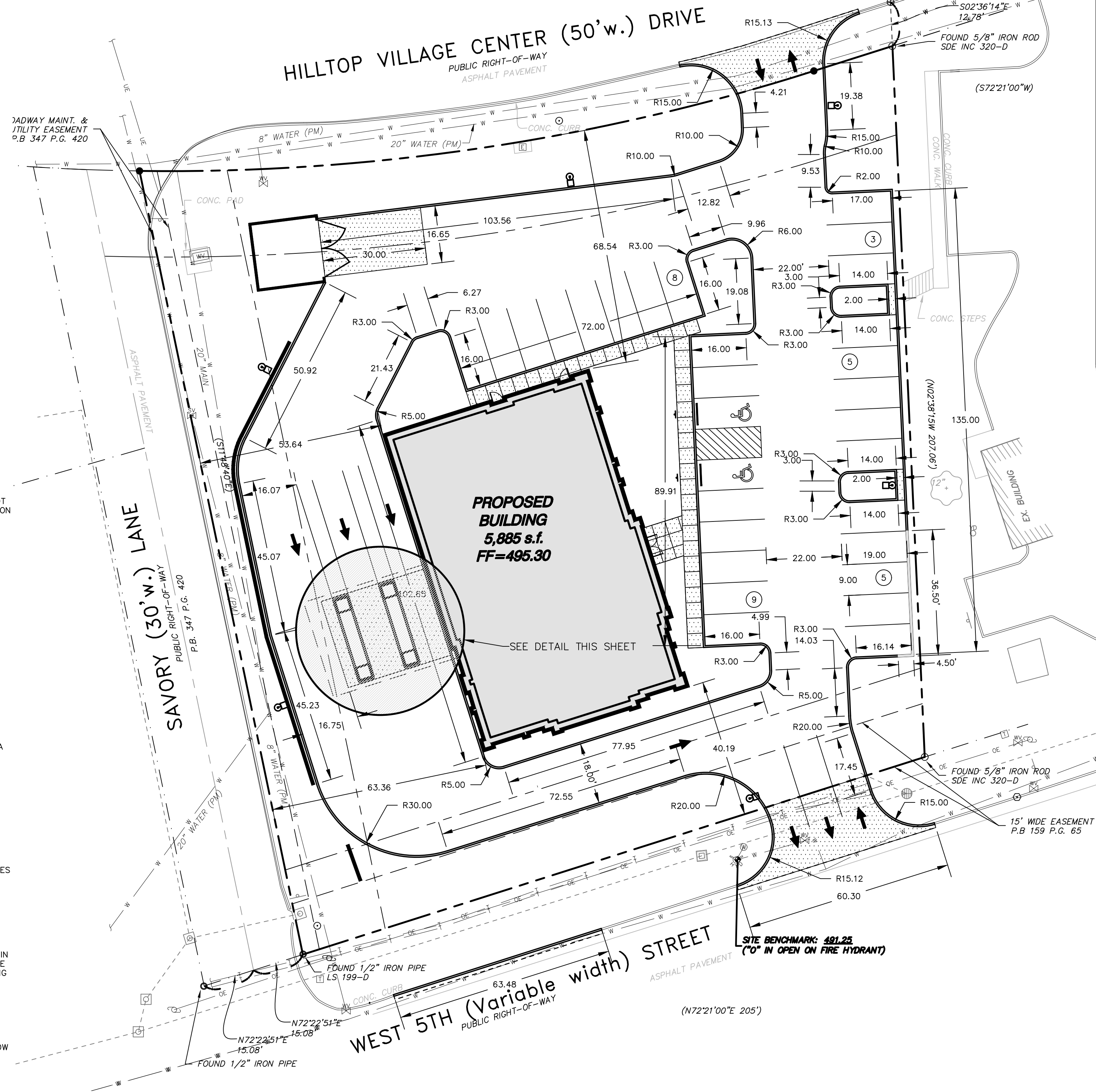
GENERAL NOTES

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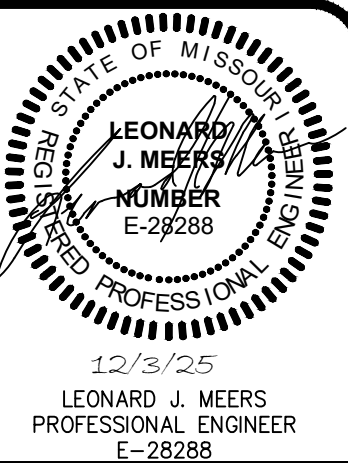
(IN FEET)
1 inch = 20 ft.



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LOC. NO. 29V510479
ZIP CODE 63025



Grimes Consulting, Inc.
12300 OLD TESSON RD.
SUITE 300
ST. LOUIS, MO 63128
PH. (314) 849-6100
FAX (314) 849-6010
www.grimesconsulting.com
PE COA# E-1470-D
PLS COA# LS-343-D

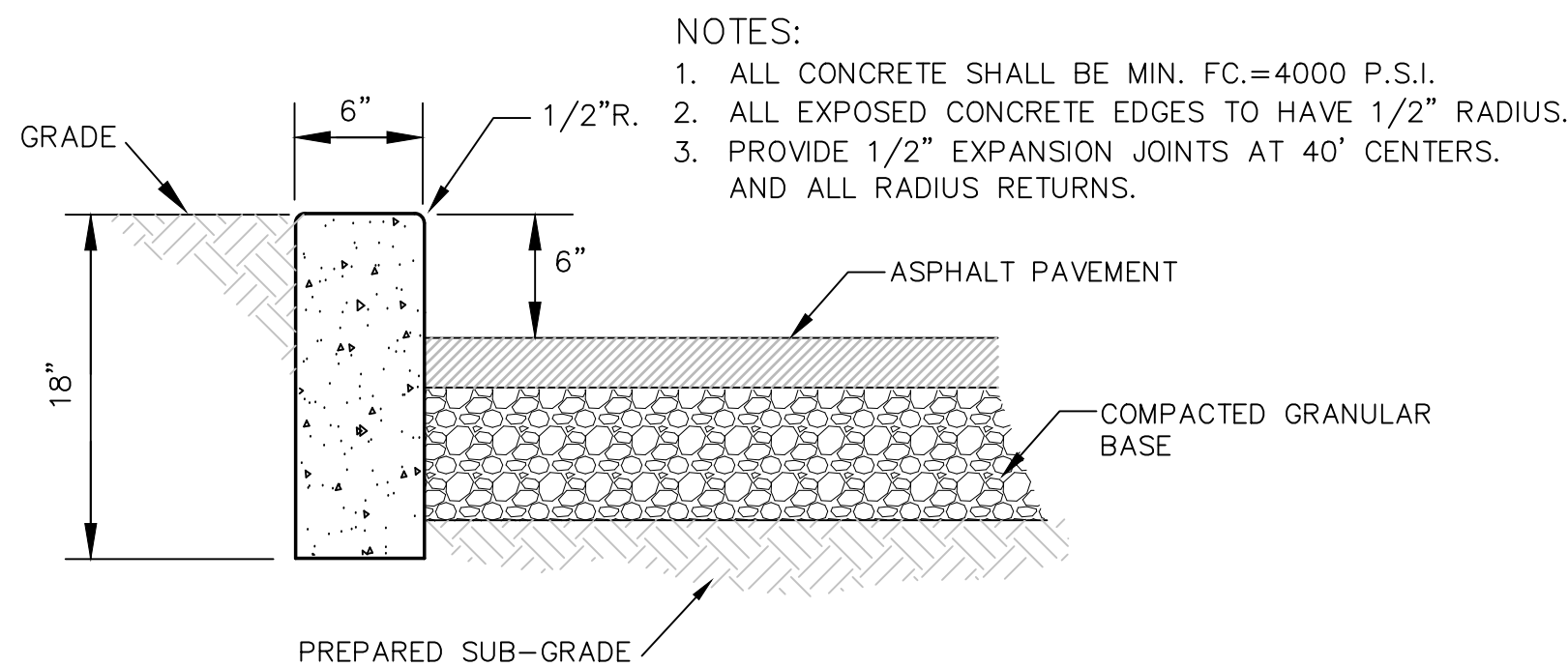
REV. NO.	DATE	REMARKS
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2		
3		
4		
5		

SITE DEVELOPMENT PLAN FOR
SULLIVAN BANK
12 HILLTOP VILLAGE DR., EUREKA, MO 63025

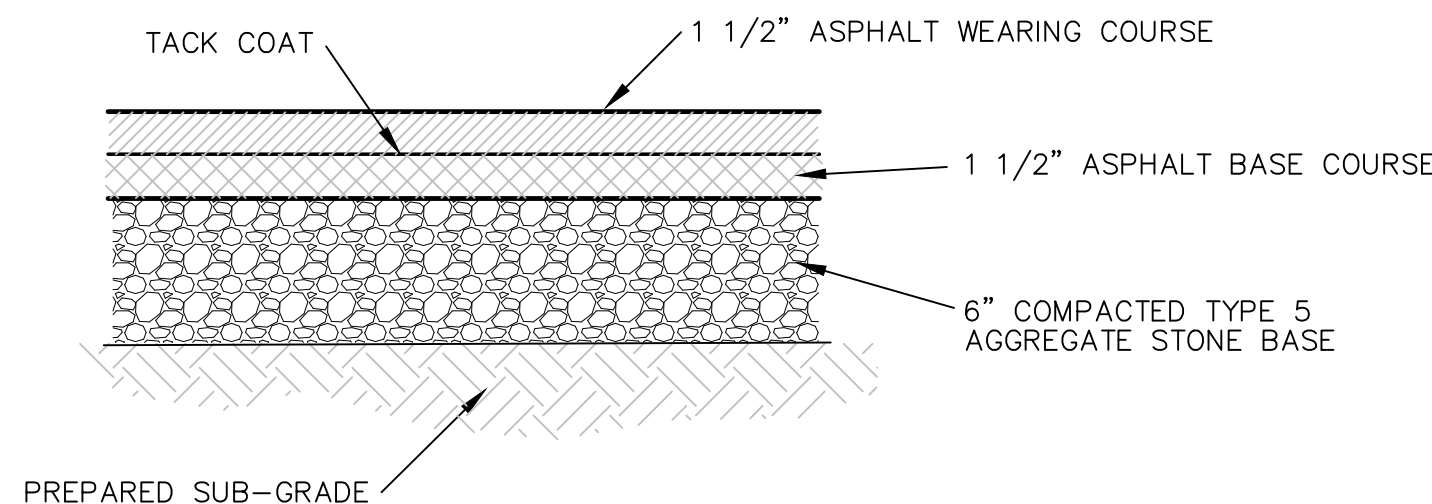
PROPOSED SITE
GEOMETRICS

SHEET TITLE	JRB
JOB NUMBER:	4331.0
DRAWN BY:	JRB
DATE:	12/04/25
CHECKED BY:	LJM
DATE:	12/04/25
SHEET:	

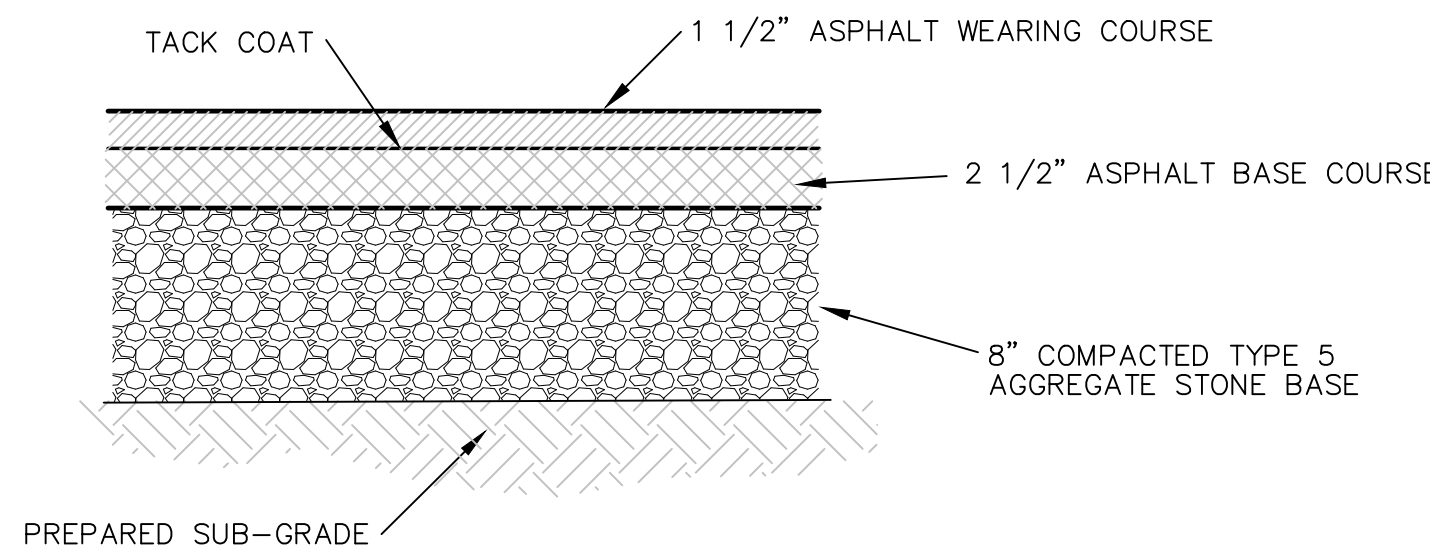
C-5



CONCRETE CURB



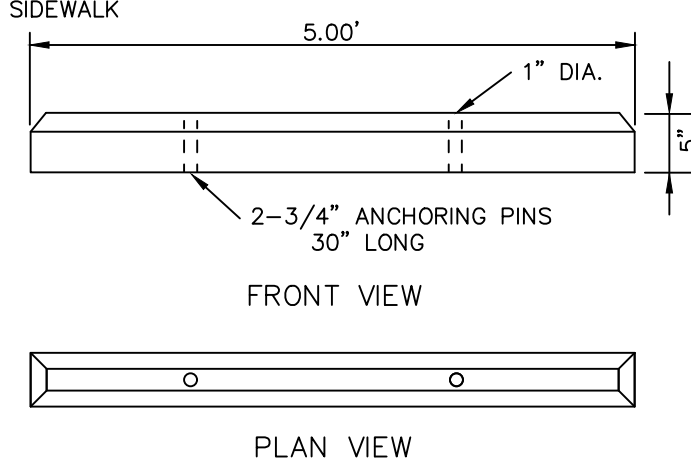
LIGHT DUTY ASPHALT



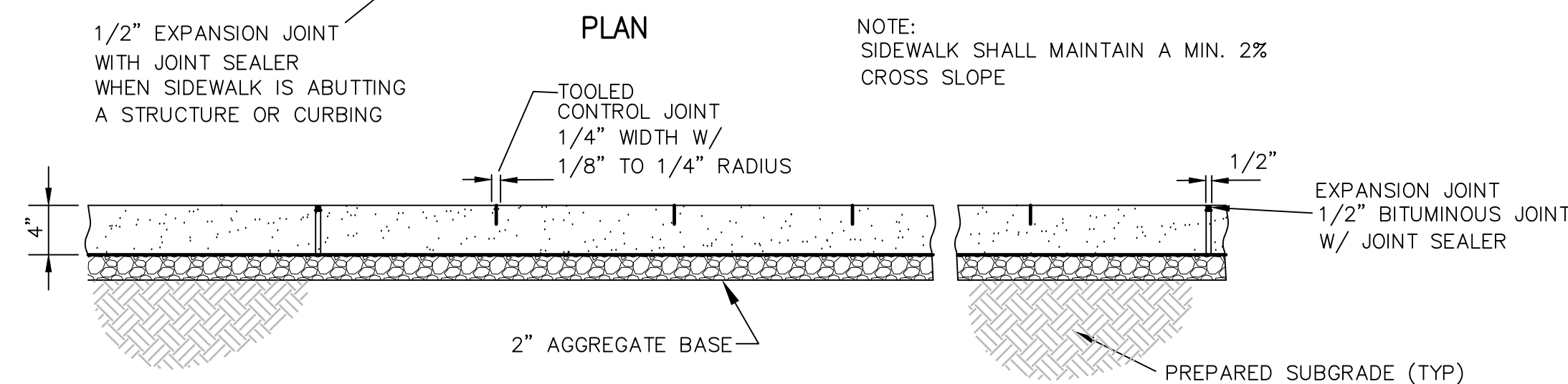
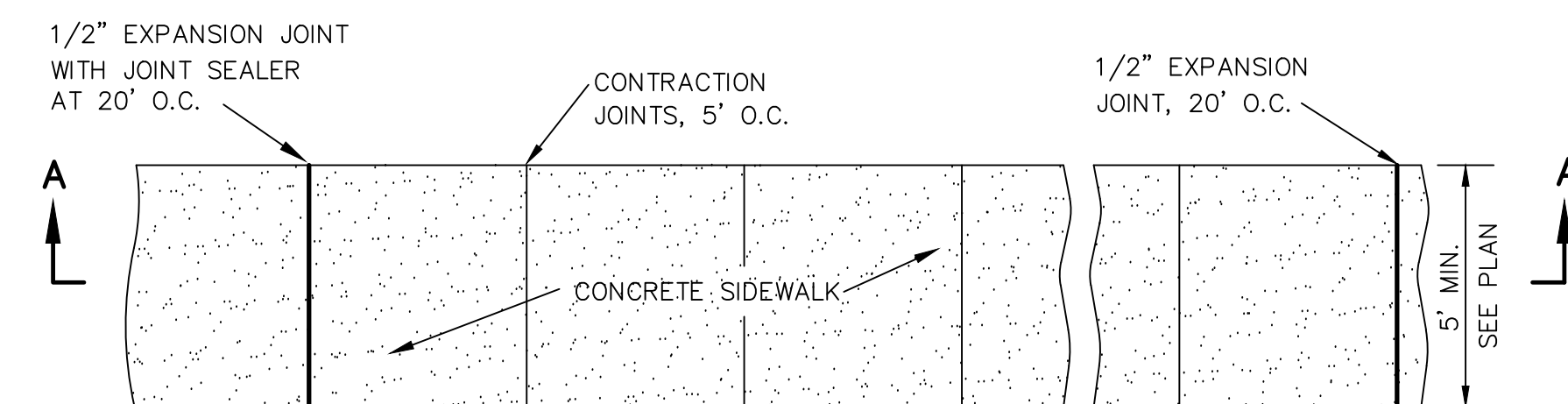
HEAVY DUTY ASPHALT

NOTES

1. BUMPER TO BE PAINTED YELLOW
2. BUMPER TO BE CENTERED ON 9' WIDE PARKING STALLS
3. BUMPER TO BE INSTALLED 2.5' FROM EDGE OF SIDEWALK

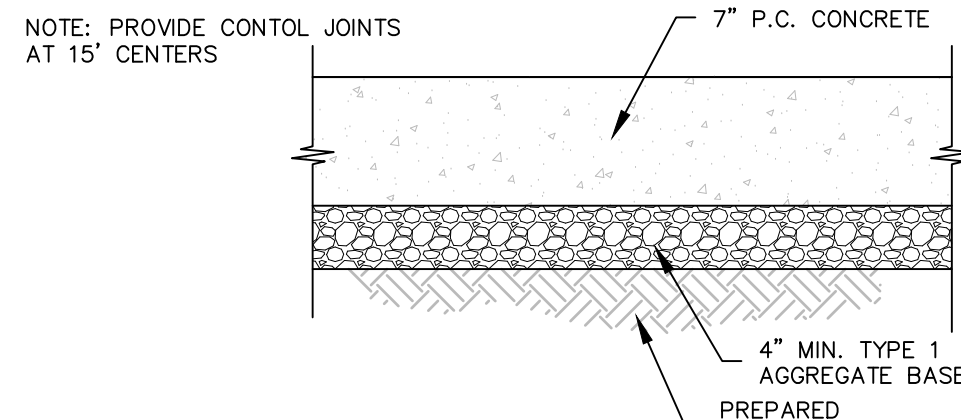


PARKING BUMPER



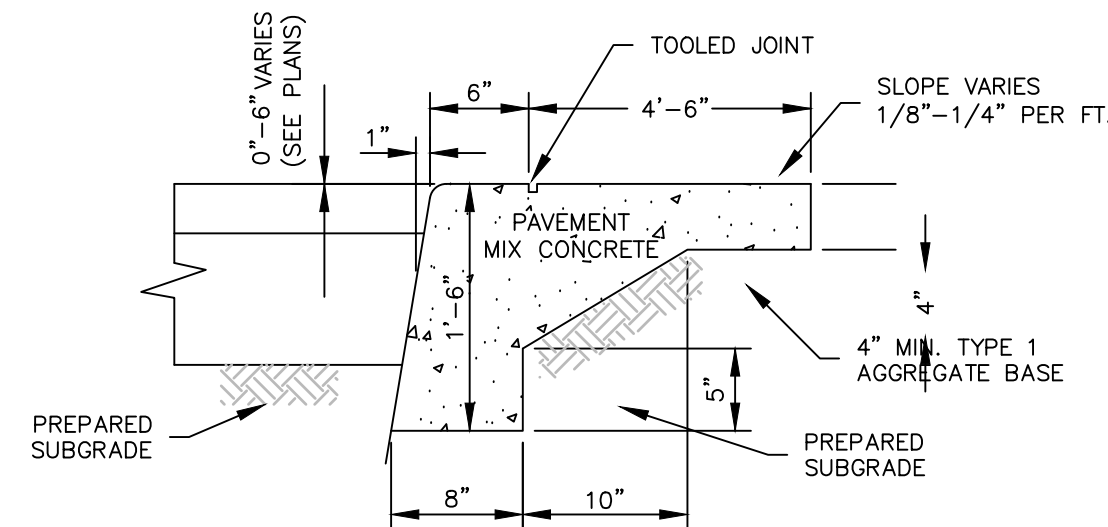
CONCRETE SIDEWALK

PREPARED FOR:
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P: (314) 434-9700

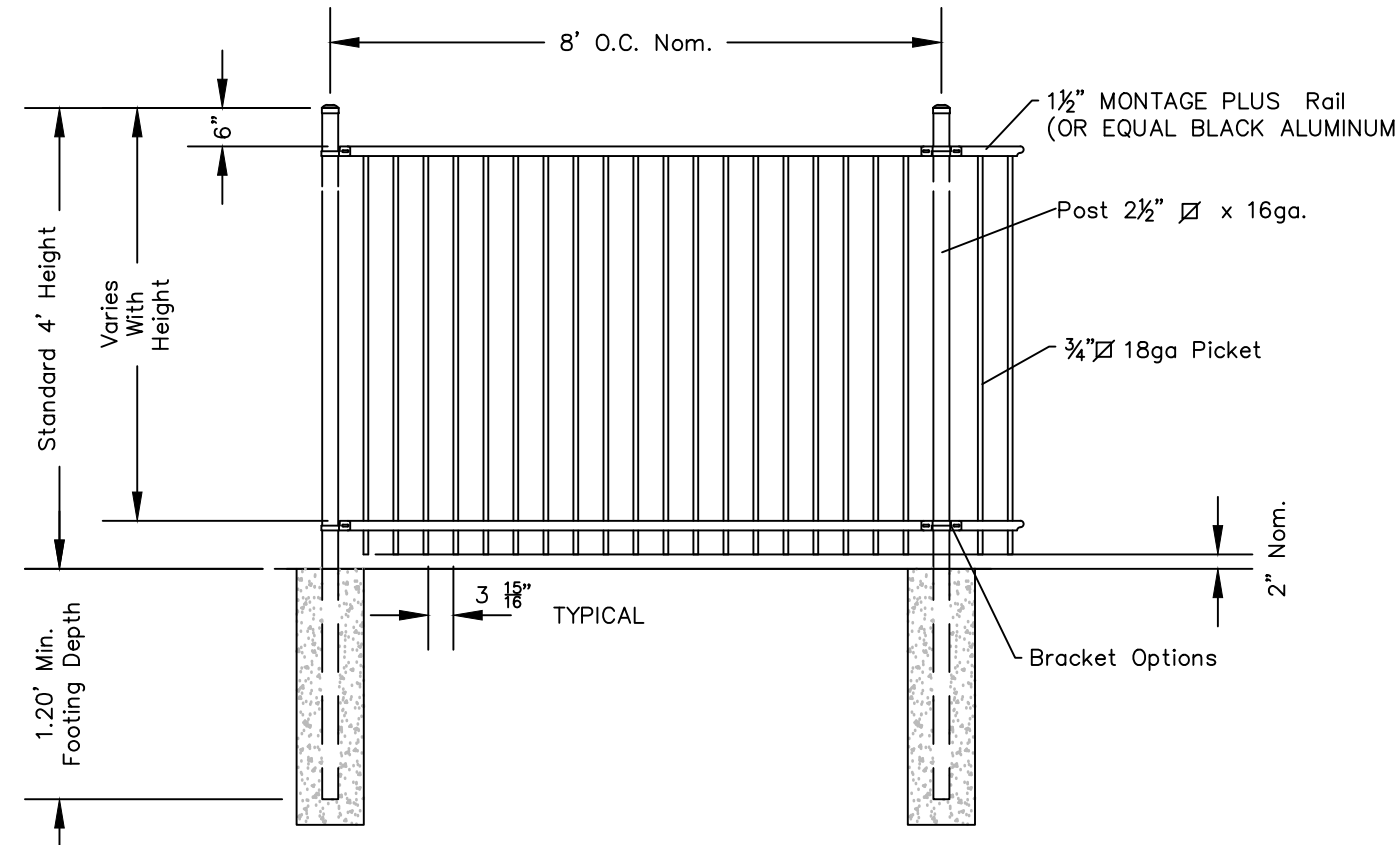


CONCRETE PAVEMENT

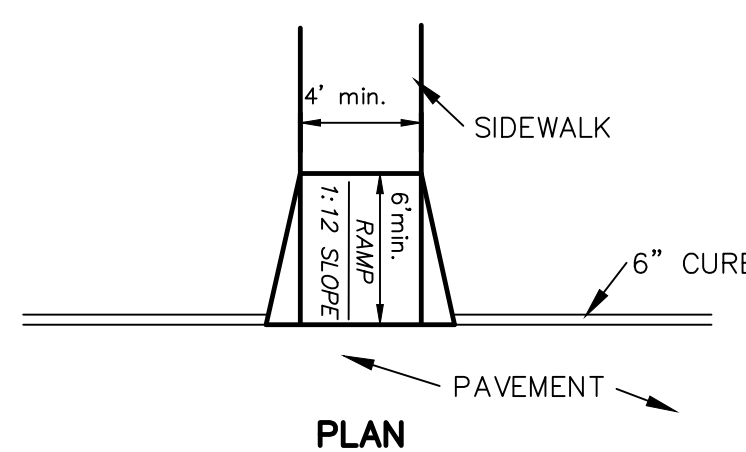
NOTE: EXPANSION JOINT MATERIAL SHALL BE INSTALLED IN THE WALK FOR ITS FULL WIDTH AND DEPTH AT INTERVALS OF APPROX. 50'. CONTROL JOINTS AT INTERVALS OF 1.5 TIMES ITS WIDTH.



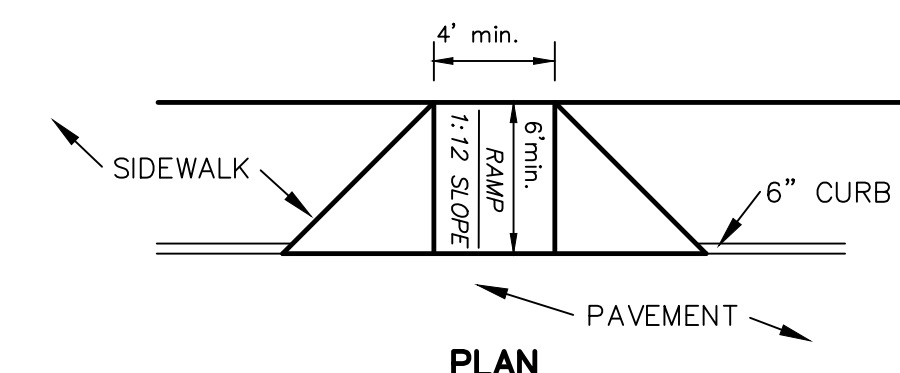
CONCRETE CURB & SIDEWALK



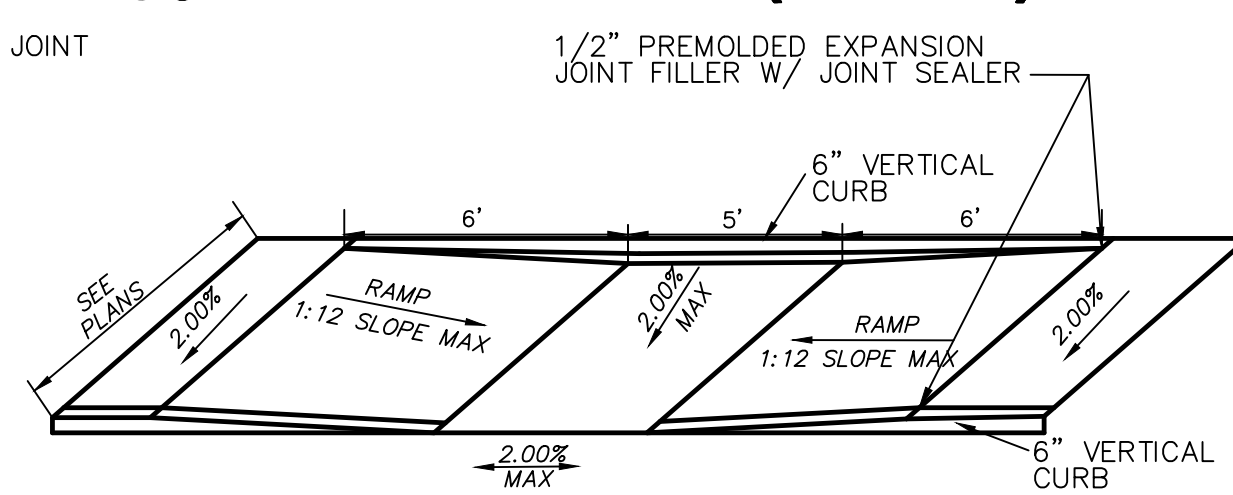
ALUMINUM FENCE DETAIL



CURB RAMP DETAIL (TYPE 2)

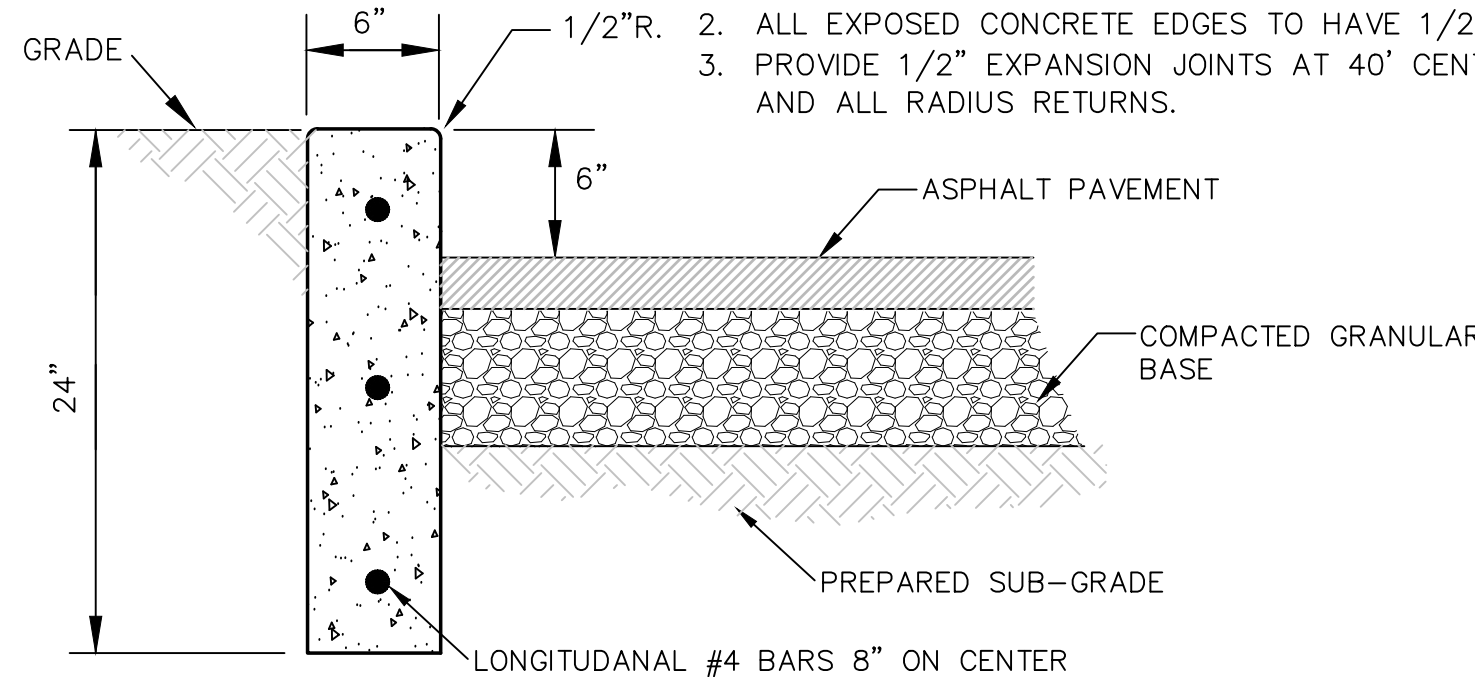


CURB RAMP DETAIL (TYPE 6)

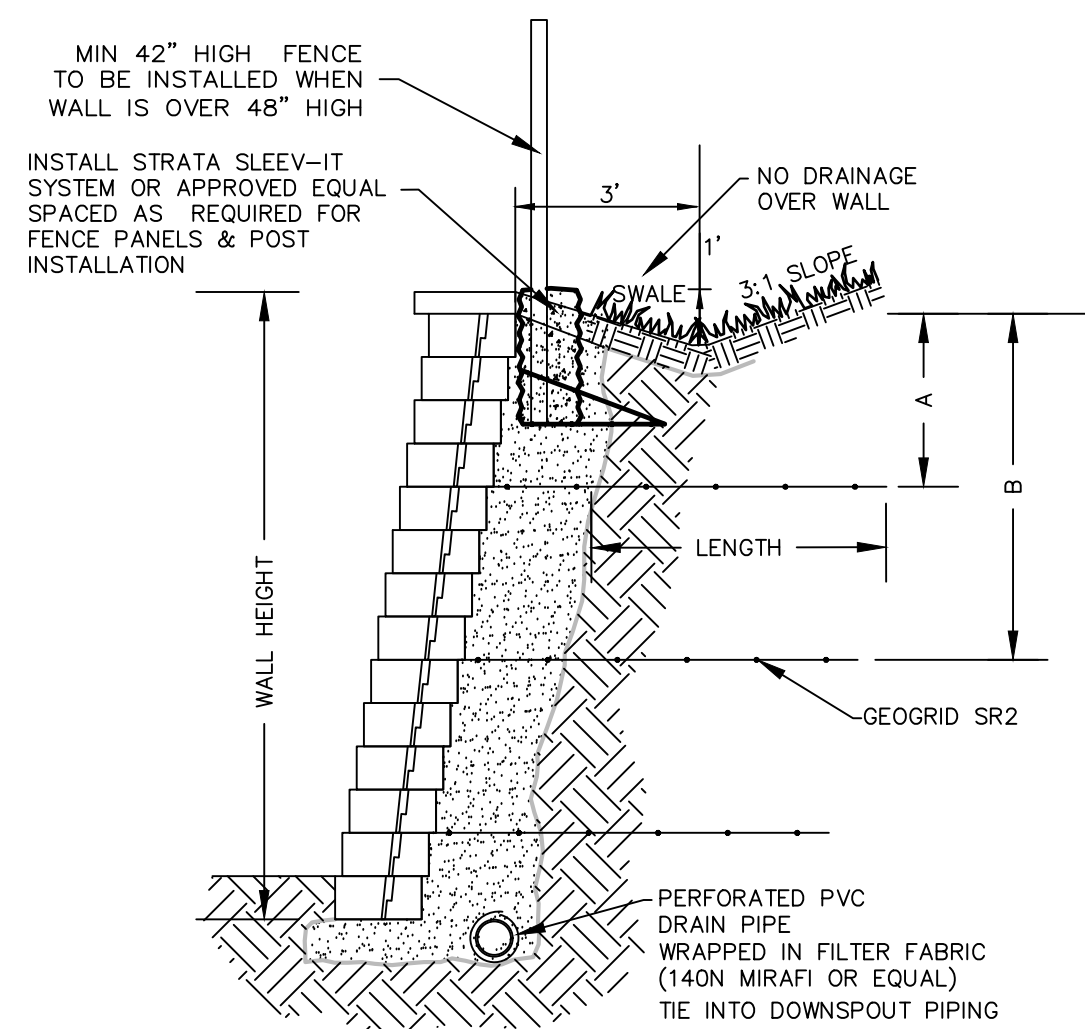


PARALLEL CURB RAMP - 6" VERTICAL CURB (TYPE 10)

- NOTES:
1. ALL CONCRETE SHALL BE MIN. FC.=4000 P.S.I.
 2. ALL EXPOSED CONCRETE EDGES TO HAVE 1/2" RADIUS.
 3. PROVIDE 1/2" EXPANSION JOINTS AT 40' CENTERS. AND ALL RADIUS RETURNS.

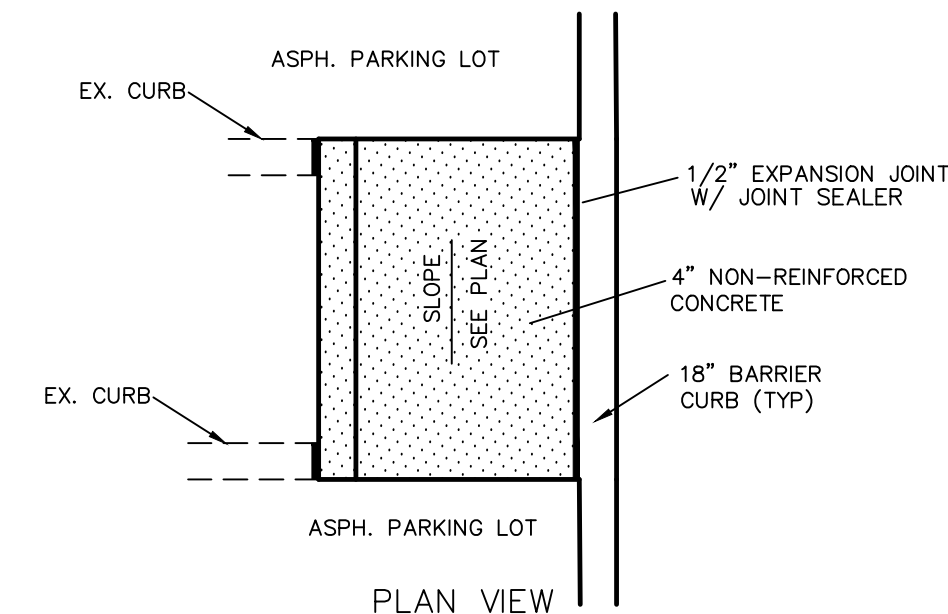
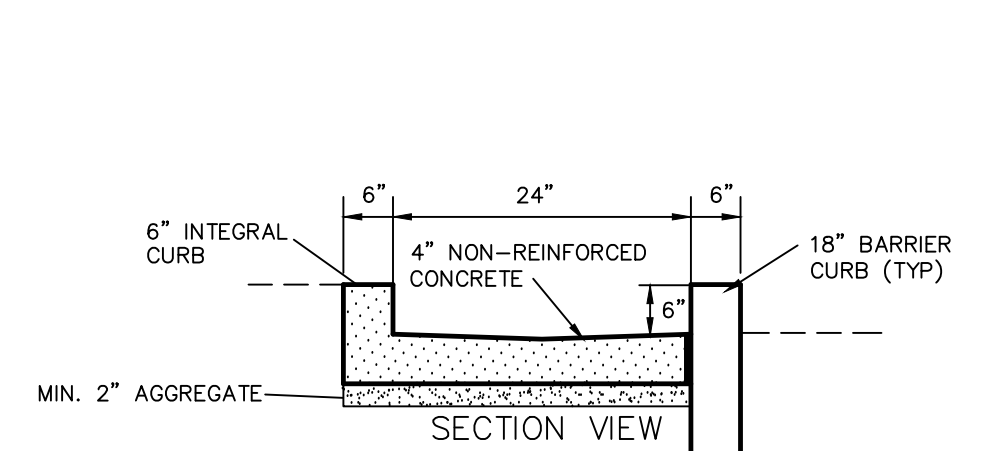


EXTENDED CONCRETE CURB

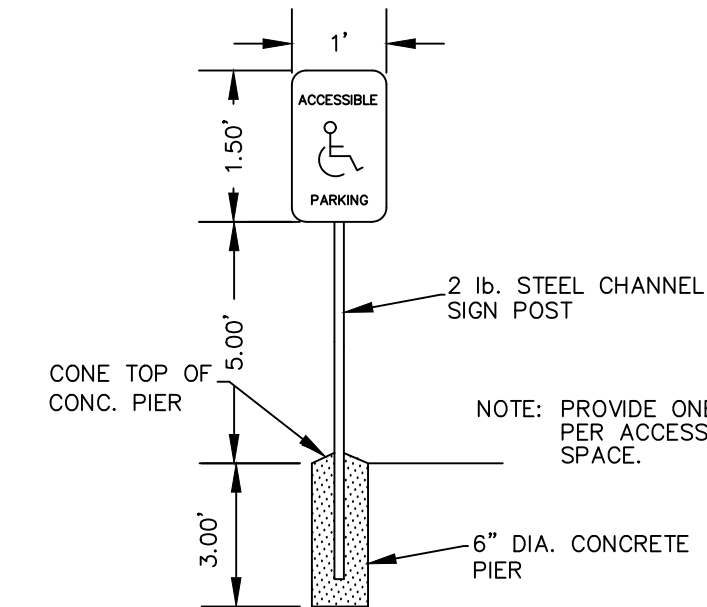


VERSA-LOK RETAINING WALL

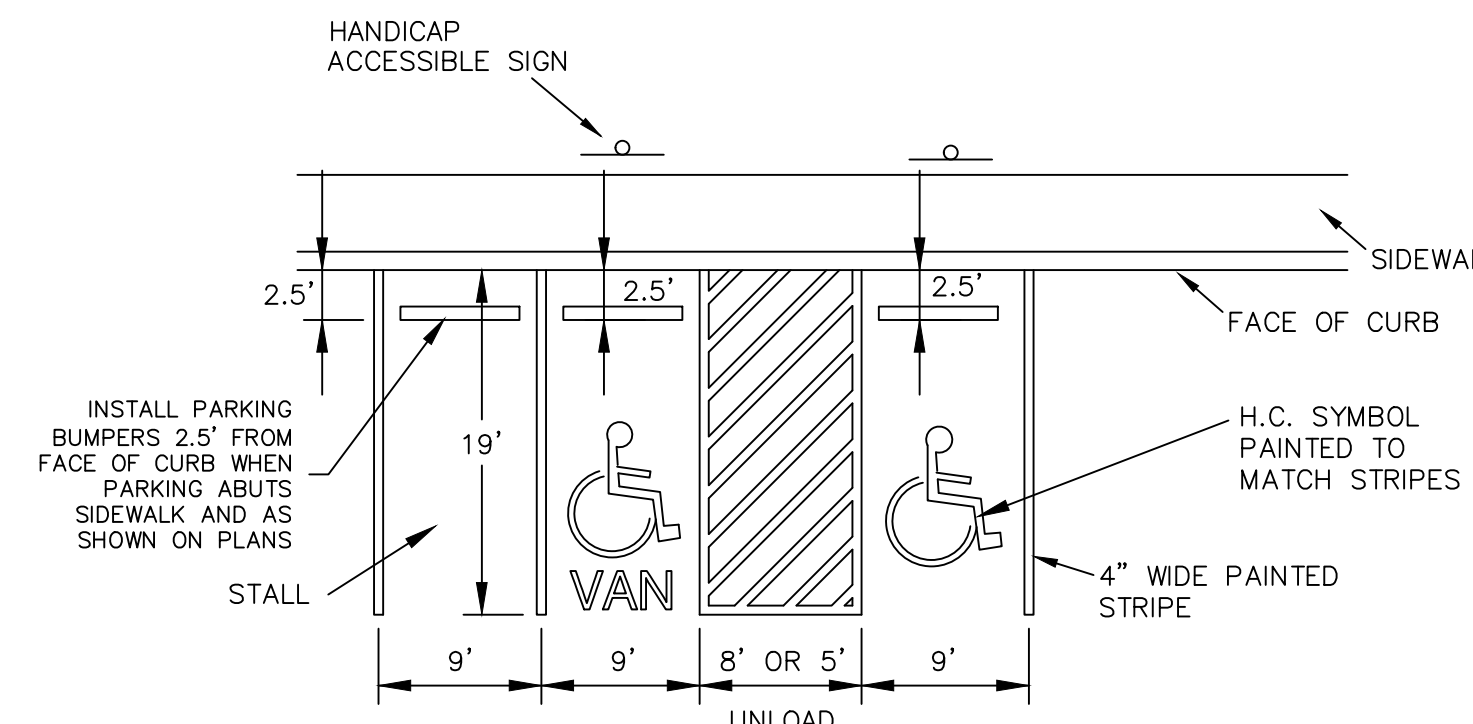
1. DO NOT SCALE DRAWING. FOLLOW DIMENSIONS.
2. SIDEWALKS AND SIDEWALK CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE DETAILS AND THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG).
3. PROVIDE A LANDING AT THE TOP OF EACH STRAIGHT RAMP WHEN THE GRADE ALONG CURB ("C") IS GREATER THAN +2% AND LESS THAN +7%. FOR OTHER VALUES OF "G", INCLUDING ALL NEGATIVE (-) VALUES, NO LANDING IS REQUIRED.
4. MINIMUM SIDEWALK WIDTH ALONG 6" VERTICAL CURB SHALL BE 5 FEET. MINIMUM SIDEWALK WIDTH ALONG 3" ROLLED CURB SHALL BE 4 FEET.
5. MAXIMUM SIDEWALK CROSS SLOPE 0.02'/FT.
6. ALL SIDEWALK SECTIONS SHALL BE 4" THICK, EXCEPT WHERE INDICATED OTHERWISE. BY SHADED PORTIONS SHOWN ON DETAILS. ALL SIDEWALK SECTIONS AND CURB RAMPS, REGARDLESS OF THICKNESS, SHALL BE PAID FOR AS "CONCRETE SIDEWALK".
7. WHERE CURB RAMP MEETS PAVEMENT, BULLNOSE WILL NOT BE PERMITTED.
8. CONSTRUCT A DIAGONAL RAMP WHEN THE MAXIMUM CORNER RADIUS ALLOWED FOR A STRAIGHT RAMP IS EXCEEDED.
9. IF INTEGRAL CONCRETE CURB IS CONSTRUCTED, STRIKE A DUMMY JOINT ACROSS BOTTOM OF RAMP AT CURB LINE. IF CONCRETE CURB IS DOWELED-ON, BLOCK OUT PAVEMENT TO PROVIDE FULL DEPTH CURB ACROSS RAMP FROM OUTER POINT OF CURB TAPER TO OUTER POINT OF CURB TAPER.
10. FOR SIDEWALK LOCATIONS ON CUL-DE-SACS, REFER TO "PAVEMENT CONSTRUCTION DETAILS".
11. FOR PAVEMENT LONGITUDINAL AND TRANSVERSE JOINTS AND DOWEL AND TIE BAR REQUIREMENTS AND DIMENSIONS, REFER TO THE PAVEMENT CONSTRUCTION DETAILS FOR "JOINTS AND CURBS", STANDARD DRAWING C502.03.
12. FOR ROADWAY CROSS SLOPES, PAVEMENT TYPES, AND THICKNESSES, REFER TO "STANDARD TYPICAL SECTION".
13. A DETECTABLE WARNING CONSISTING OF TRUNCATED DOMES SHALL BE PLACED AT EACH CURB RAMP. IF CURB CUTS ARE USED TO ALLOW A CROSSWALK TO PASS THROUGH AN ISLAND THEN DETECTABLE WARNINGS SHALL BE PLACED AT EACH EXIT POINT FROM THE ISLAND.
14. THE DETECTABLE WARNING SHALL BE A PRE-MOLDED TILE CAST DIRECTLY INTO THE PLASTIC CONCRETE.
15. THE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT ON DARK, OR DARK ON LIGHT.
16. THE DETECTABLE WARNING SHALL BE PLACED WITHIN 6 TO 8 INCHES OF THE CURB LINE.
17. THE DETECTABLE WARNING SHALL EXTEND 24 INCHES IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE RAMP, LANDING, OR BLENDED TRANSITION.
18. TRANSITIONS FROM RAMPS TO WALKS, CUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.



CONCRETE FLUME



ACCESSIBLE PARKING SIGN

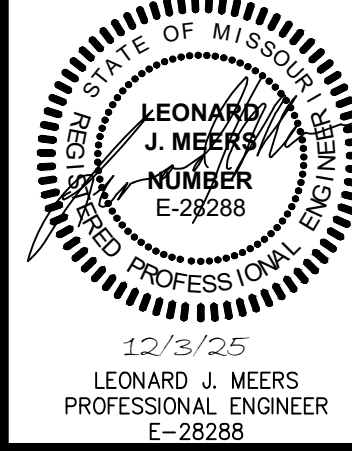


NOTE: ONE IN EVERY FOUR ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE A MINIMUM OF NINETY-SIX INCHES WIDE AND SHALL BE DESIGNATED "LIFT VAN ACCESSIBLE ONLY"

NOTE: HANDICAP STRIPING & SIGN TO BE BLUE WITH BLUE HANDICAP SYMBOLS. ALL OTHER STRIPING TO BE WHITE (PAINT PER SPECIFICATIONS)

NOTE: SLOPE NOT TO EXCEED 2% IN ANY DIRECTION

TYPICAL PARKING STALLS



GRIMES CONSULTING, INC.
12300 OLD TESSON RD.
SUITE 3000
ST. LOUIS, MO 63128
PH: (314) 849-6100
FAX: (314) 849-6010
www.grimesconsulting.com
PE COAF E-1470-D
PLS COAF LS-343-D

REV. NO.	REMARKS	DATE
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SITE DEVELOPMENT PLAN FOR

SULLIVAN BANK

12 HILLTOP VILLAGE DR., EUREKA, MO 63025

SITE DETAILS

JOB NUMBER: 4331.0

DRAWN BY: JRB

DATE: 12/04/25

CHECKED BY: LJM











DATE: 12/04/25

SHEET:

C-6

LOC. NO. 29V510479
ZIP CODE 63025

PROPOSED UTILITY LEGEND

STORM SEWER	
PERFORATED STORM SEWER	
STORM SEWER STRUCTURE	
SANITARY SEWER	
SANITARY LATERAL	
SANITARY SEWER STRUCTURE	
WATERLINE	
GAS LINE	
ELECTRIC LINE	
TELEPHONE/CABLE LINE	

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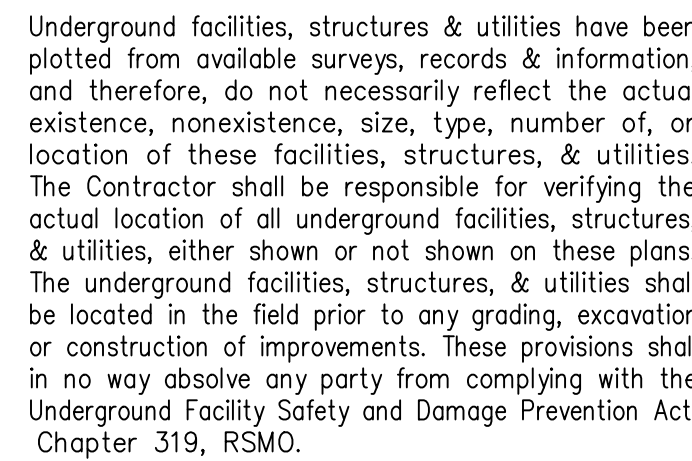
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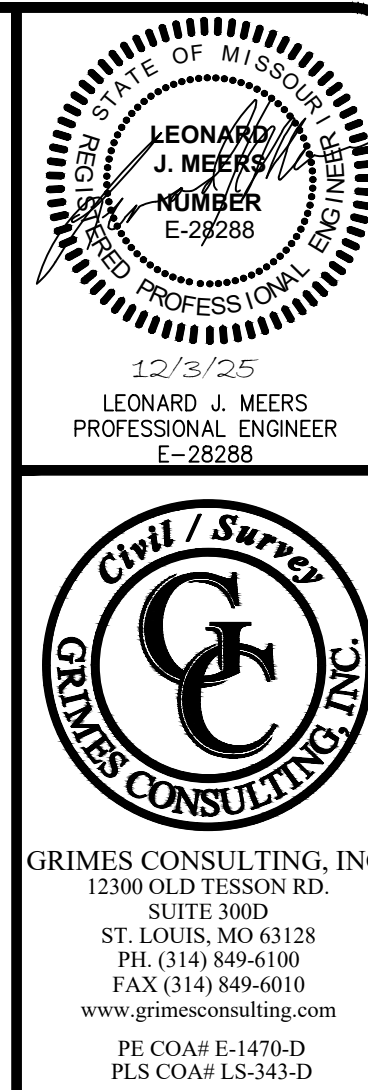
10.) THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH THE CITY OF FRONTENAC AND MSD STANDARDS.

11.) ADEQUATE TEMPORARY OFF-STREET PARKING SHALL BE PROVIDED FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.

12.) THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE COMPENSATION FOR RELOCATION OF THEIR UTILITY FACILITIES WITHIN PUBLIC ROAD RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL BE CONSIDERED THE DEVELOPERS RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS. SUCH DELAYS WILL NOT CONSTITUTE A CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.

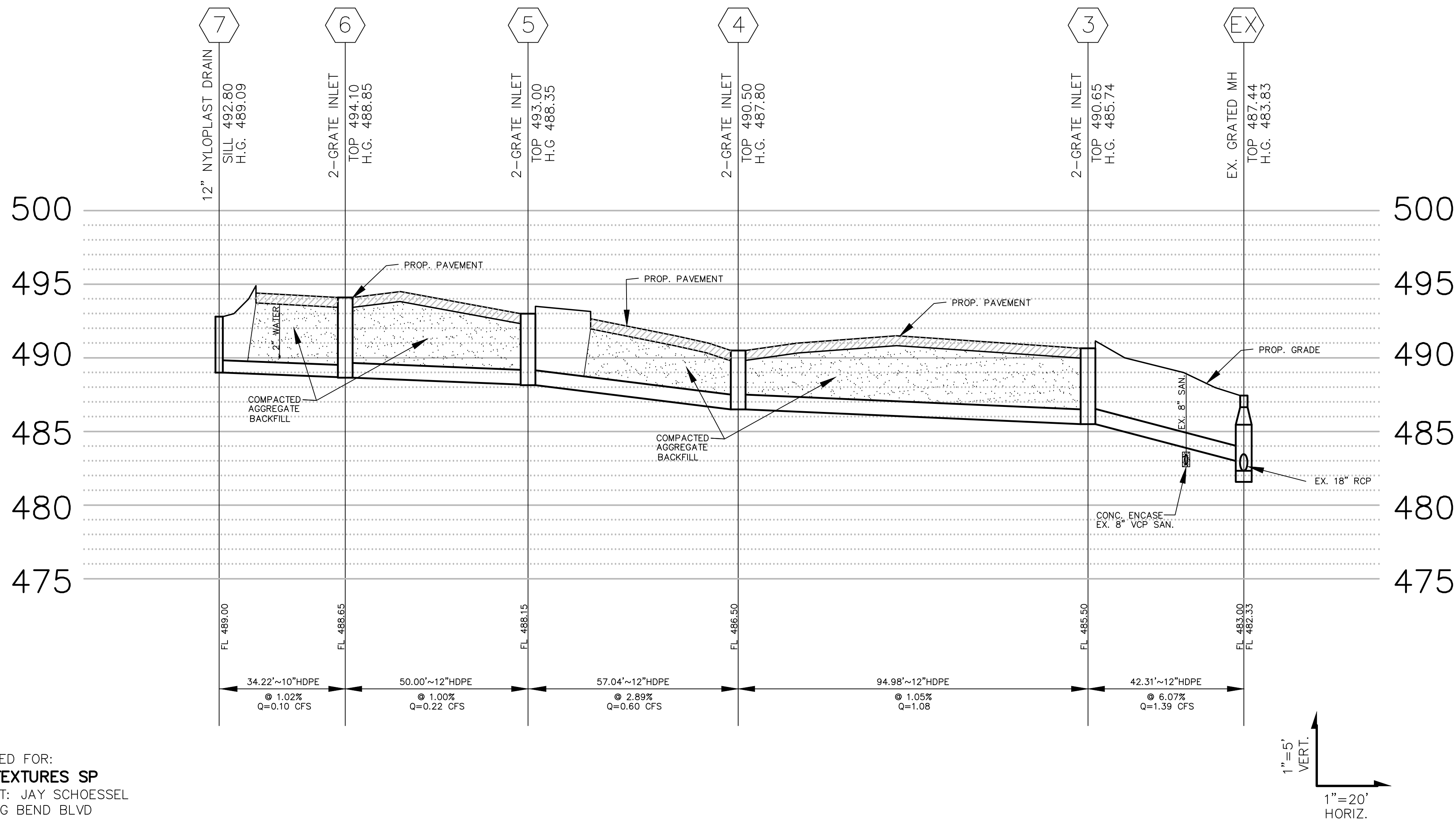
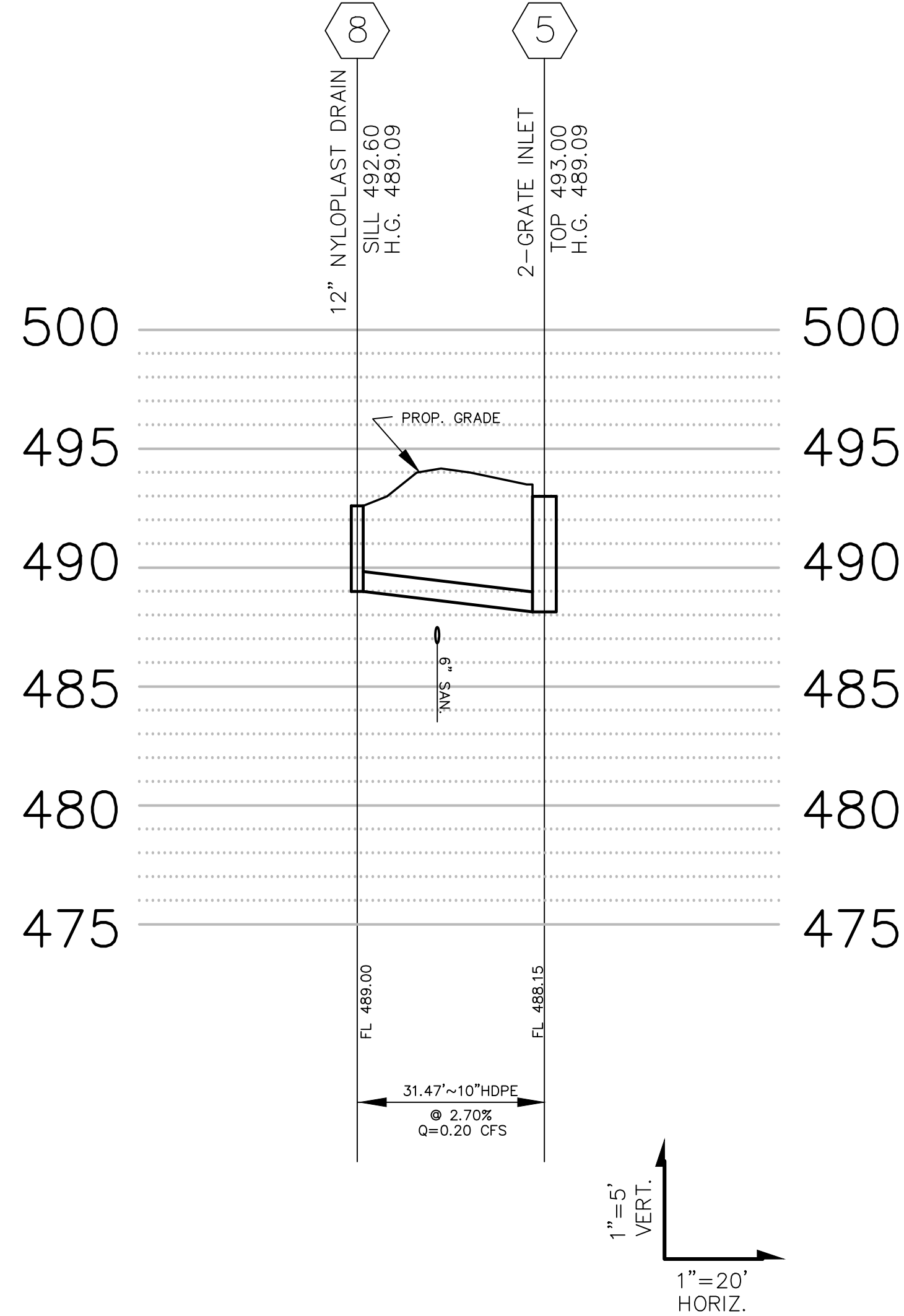
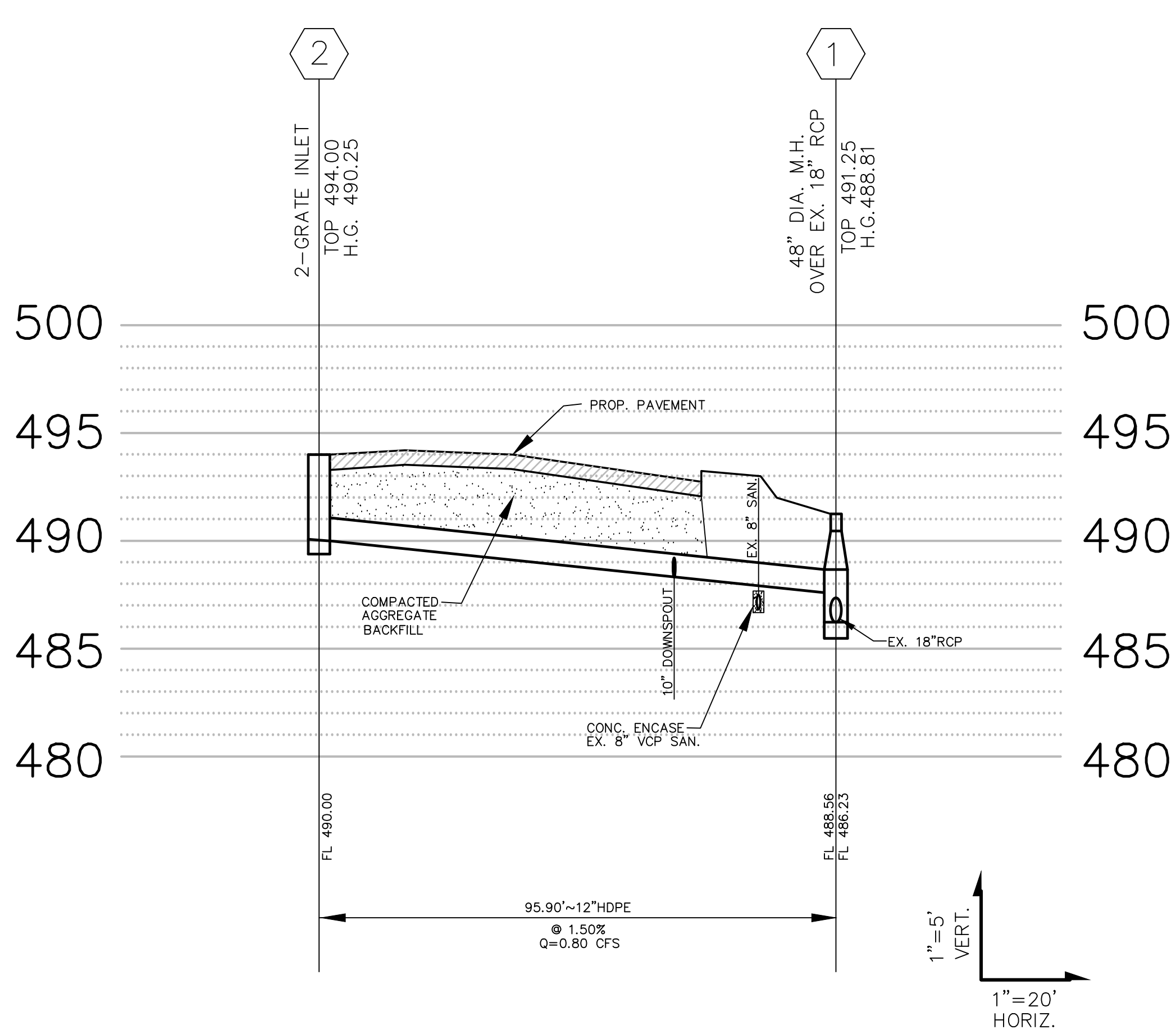


LOC. NO. 29V510479
ZIP CODE 63025



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PREPARED FOR:
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ISSUED FOR PERMIT 12/04/25

SHEET TITLE

JOB NUMBER: 4331.0

DRAWN BY: JRB

DATE: 12/04/25

CHECKED BY: LJM

DATE: 12/04/25

SHEET:

C-7.1

SITE DEVELOPMENT PLAN FOR

SULLIVAN BANK

12 HILLTOP VILLAGE DR., EUREKA, MO 63025

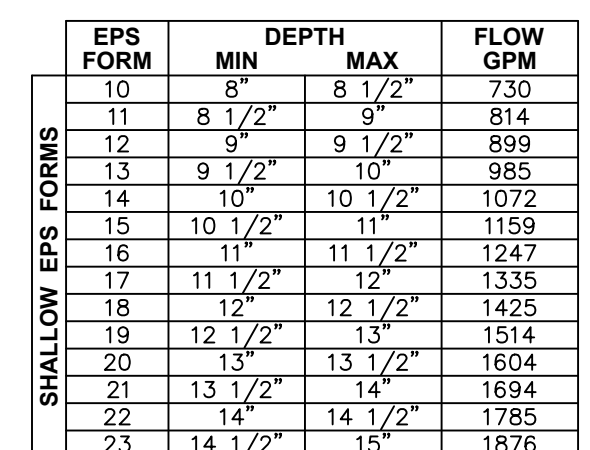
SEWER PROFILES

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GRIMES CONSULTING, INC.
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PLS COAF LS-343-D



LEONARD J. MEERS
PROFESSIONAL ENGINEER
E-28288
12/3/25
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PROFESSIONAL ENGINEER
E-28288



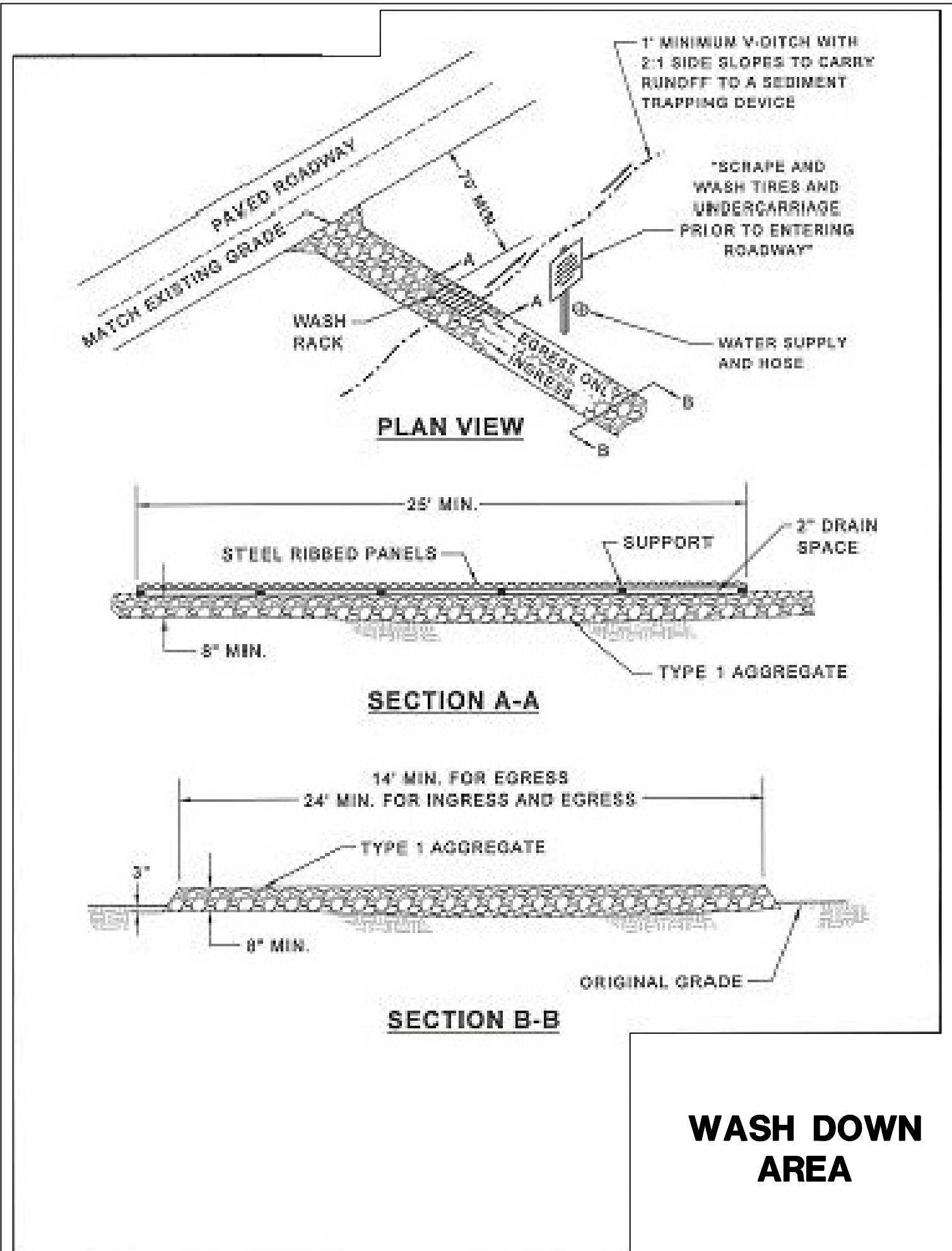
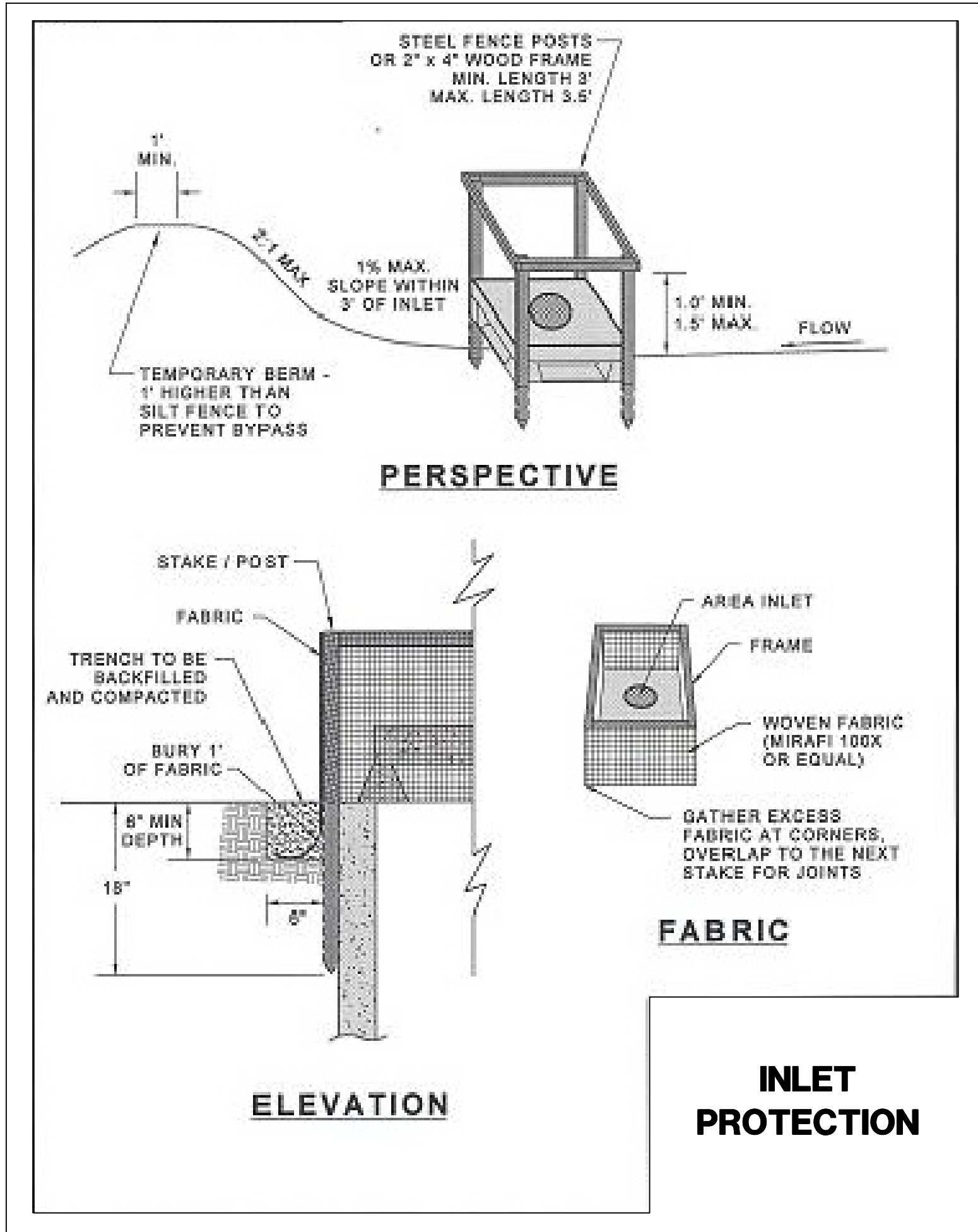
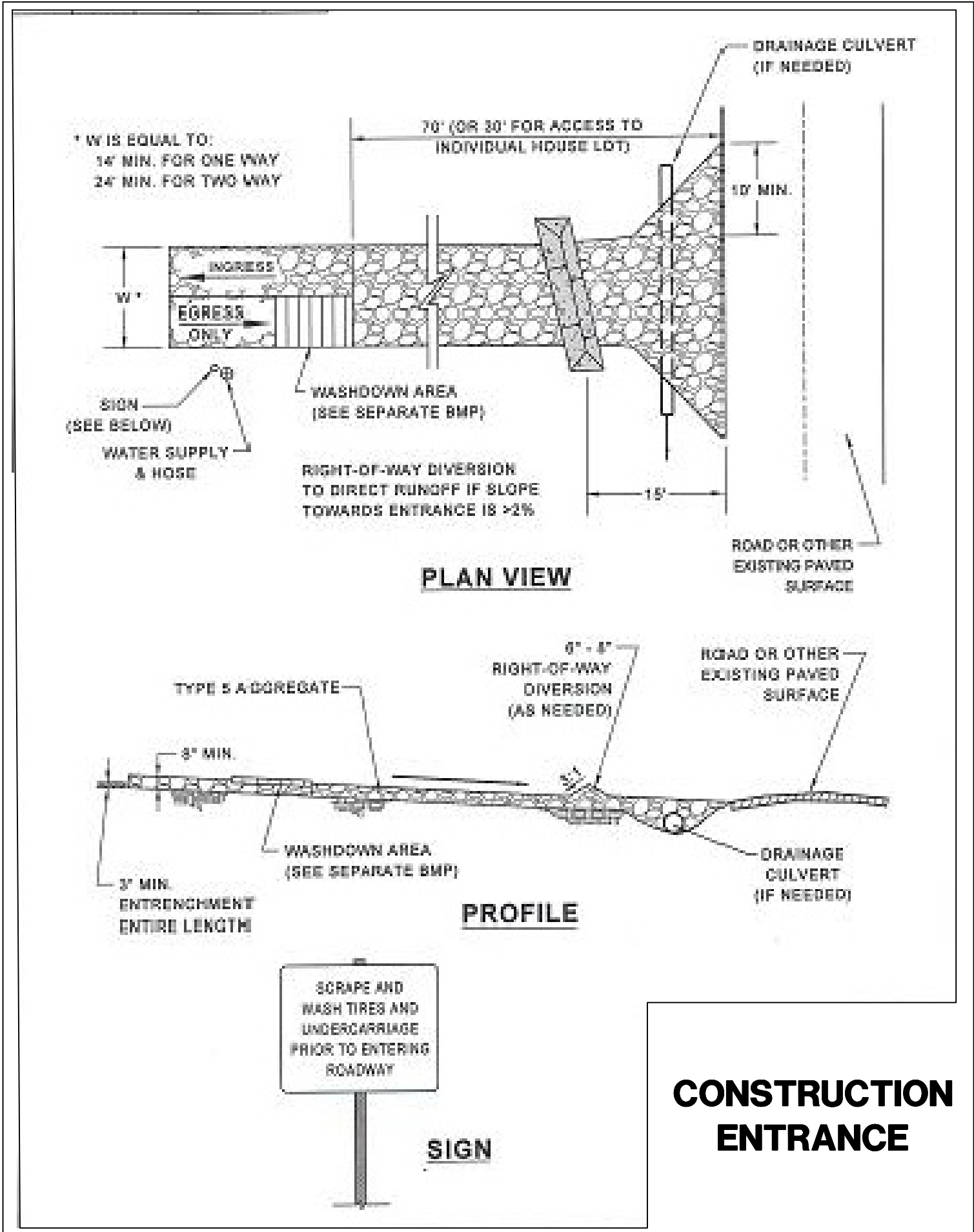
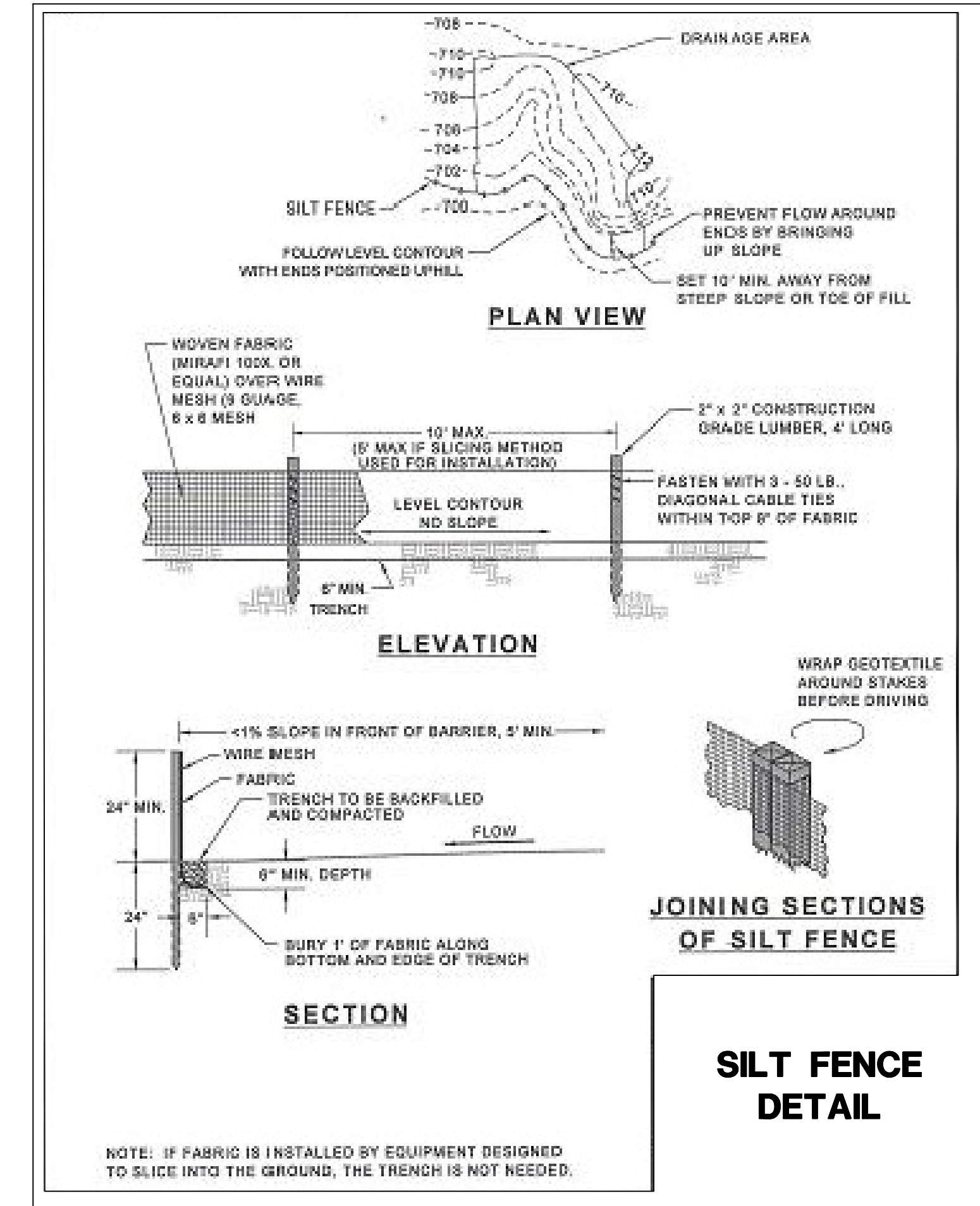
EconoDrain Series #12 STANDARD EPS FORMS

LOC. NO. 29V510479
ZIP CODE 63025



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SILTATION CONTROL NOTES:

1. EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
2. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DEEMED NECESSARY BY CITY OF EUREKA DEPT. OF PUBLIC WORKS AND/OR MISSOURI DEPT. OF TRANSPORTATION. (MoDOT).
3. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1 (3' HORIZONTAL: 1' VERTICAL).
4. PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS. THE OWNER SHALL AT ALL TIMES, CONTAIN MUD AND OTHER SPOILS ON SITE. NO VEHICLE, TRAILER OR CONSTRUCTION EQUIPMENT IS TO DEPOSIT MUD OR ANY OTHER MATERIAL ON PUBLIC STREETS.
5. STORM SEWER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
6. SILTATION FENCES AND OR SILT LOGS SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE OR FIBRE ROLL.
7. IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF A PERMANENT GROUND COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES OR SUDAN GRASSES SHALL BE UTILIZED TO RETARD EROSION, IF ADEQUATE STORMWATER DETENTION AND EROSION CONTROL DEVICES HAVE NOT BEEN ESTABLISHED.
8. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF SILT FENCE, END RUNS AND UNDERCUTTING BENEATH SILT FENCING.
9. NECESSARY REPAIRS TO FENCES OR REPLACEMENT OF FENCE SHALL BE ACCOMPLISHED PROMPTLY.
10. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
11. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT CONTROL DEVICE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
12. ALL EXPOSED SLOPES WHETHER TEMPORARY OR PERMANENT SHALL BE SEEDED PER SPECIFICATIONS IMMEDIATELY UPON COMPLETION. ST. LOUIS COUNTY RIGHT-OF-WAY SHALL BE SODDED, NOT SEEDED.
13. ALL FLOWLINES OF DIVERSION DITCHES AND SWALES SHALL BE PROTECTED AS NEEDED.
14. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED BY AN AUTHORIZED COMPANY REPRESENTATIVE OR ST. LOUIS COUNTY.
15. ALL EXPOSED SURFACES WHERE PAVEMENT IS TO BE INSTALLED, WHETHER TEMPORARY OR PERMANENT SHALL HAVE A GRAVEL LAYER PLACED OVER THE EXPOSED SURFACE IMMEDIATELY AFTER GRADING.

ISSUED FOR PERMIT 12/04/25

STATE OF MISSOURI
LEONARD J. MEERS
NUMBER
E-28288
12/3/25
LEONARD J. MEERS
PROFESSIONAL ENGINEER
E-28288

Civil / Survey
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PLS COAF LS-343-D

DATE

REMARKS

REV. NO.

SITE DEVELOPMENT PLAN FOR
SULLIVAN BANK

SWPPP DETAILS

JOB NUMBER: 4331.0

DRAWN BY: JRB

DATE: 12/04/25

CHECKED BY: LJM

DATE: 12/04/25

SHEET:

C-8.1

12 HILLTOP VILLAGE DR., EUREKA, MO 63025

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LOC. NO. 29V510479
ZIP CODE 63025

GENERAL PRINCIPALS OF THE EROSION/SILTATION CONTROL PLAN

- 1). SCHEDULE CLEARING AND/OR GRADING:
COORDINATE CLEARING/GRADING SEQUENCE AND INSTALLATION OF EROSION/SEDIMENT CONTROL MEASURES TO MOST EFFECTIVELY CONTROL EROSION. KEY SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ISSUANCE OF A GRADING /CLEARING PERMIT. EXISTING STORMWATER FACILITIES SHALL BE PROTECTED.
- 2). PROTECT THE LAND SURFACE:
SCHEDULE AND LIMIT CLEARING/GRADING/GRUBBING TO MINIMIZE BARE SOIL AREAS AND TIME OF EXPOSURE. STORMWATER DIVERSIONS AND PERIMETER RUNOFF PROTECTION, TO INTERCEPT RUNOFF AND DIVERT IT AWAY FROM BARE SOIL SLOPES, ARE TO BE INSTALLED BEFORE CLEARING/GRADING BEGINS OR ASAP THEREAFTER.
- 3). KEEP RUNOFF VELOCITIES LOW:
NATURAL VEGETATION SHALL BE PRESERVED WHERE POSSIBLE. PRACTICES THAT SHORTEN OR "BREAK" THE FLOWS TO REDUCE FLOW VELOCITIES SHALL BE UTILIZED. STORMWATER SHALL BE CONVEYED TO STABLE OUTLETS AND WATER DETAINED IN HOLDING PONDS OR SEDIMENT TRAPS BEFORE LEAVING THE SITE.
- 4). CAPTURE SEDIMENT ON THE SITE
DESIGN AND UTILIZE SEDIMENT TRAPS, BASINS, AND BARRIERS. MULTIPLE SEDIMENT TRAPS/BARRIERS LOCATED AT THE BORDER OF THE DISTURBED AREA, AT AREA INLETS AND WHERE WATER WILL DISCHARGE NEAR STREETS (WATER SHALL NOT BE DISCHARGED DIRECTLY ONTO ANY STREET) SHALL BE UTILIZED ALONG WITH SEDIMENT BASINS NEAR A SITE BOUNDARY.

CONSTRUCTION ACTIVITIES SWPPP PLAN STANDARD NOTES

1. The Permittee and/or Contractor shall remove all sediment, mud, construction debris, or other potential pollutants that may have been discharged to or accumulate in, the flowlines, storm drainage appurtenances, and public rights of ways of the State as a result of construction activities associated with this site development or construction project. Solid removal shall be conducted in a timely manner."
2. The Contractor shall prevent sediment, debris and all other pollutants from entering the storm sewer system during all demolition, excavation, trenching, boring, grading, or other construction operations that are part of this project. The Contractor shall be held responsible for remediation of any adverse impacts to the Municipal Separate Storm Sewer System, receiving waters, waterways, wetlands, and or other public or private properties, resulting from work done as part of this project."
3. Temporary stabilization is to take place where soil disturbing activities will cease on any portion of the site and are not planned to resume for a period exceeding 14 calendar days. Temporary stabilization must be initiated immediately upon knowing the duration is more than 14 days. Temporary stabilization must be completed within 7 calendar days. Slopes for disturbed areas greater than 3:1 (3 feet horizontal to 1 foot vertical) of if the slope is greater than 3% and greater than 150 feet in length, then the permittee must establish temporary stabilization within 7 days of ceasing operation on that part of the site. Final stabilization of disturbed areas must be initiated immediately and completed within 7 calendar days whenever any clearing, grading, excavating or other earth disturbing activities have permanently ceased on any portion of the site. Allowances to the 7 day completion period for temporary and final stabilization may be made due to weather or equipment malfunctions. The use of allowances shall be documented in the SWPPP.
4. The Developer, General Contractor, Grading Contractor and/or their authorized agents shall insure that all loads of cut and fill material imported to or exported from this site shall be properly covered to prevent loss of the material during transport on public rights of way.
5. The use of rebar to anchor best management practices is prohibited." Steel fence posts may be used on a case by case basis and requires approval from the Engineer or the stormwater enforcement investigator prior to installation."
6. Approved erosion and sediment control Best Management Practices shall be maintained and kept in good repair for the duration of this project. At a minimum, the Permittee or contractor shall produce and retain weekly written inspection records for all BMPs and after significant precipitation events. All necessary maintenance and repair shall be completed immediately. Additionally, street sweeping is to be completed by the close of the business day or (and) on an as needed basis throughout the day.
7. Water used in the cleaning of cement truck delivery chutes shall be discharged into a predefined, concrete washout area on the job site. Berned containment or commercially available concrete washout devices that fully contain all wash water are acceptable. Wash water discharged into the containment area or device shall be allowed to infiltrate, evaporate, and or be disposed of in accordance with all applicable regulations. Dried cement waste is to be removed from the containment area and properly disposed. The direct or indirect discharge of water containing waste cement to the storm sewer system is prohibited."
8. The Contractor shall protect all storm sewer facilities adjacent to any location where pavement cutting operations involving wheel cutting, saw cutting, or abrasive water jet cutting are to take place. The Contractor shall remove and properly dispose of all waste products generated by said cutting operations on a daily basis or as needed throughout the work day." The discharge of any water contaminated by waste products from cutting operations to the storm sewer system is prohibited.
9. Paved and impervious surfaces which are adjacent to construction sites must be swept on a daily basis and as needed during the day when sediment and other materials are tracked or discharged onto them. Either sweeping by hand or use of Street Sweepers is acceptable. Street sweepers using water while sweeping is preferred in order to minimize dust. Flushing off paved surfaces with water is prohibited.

VEGETATIVE PRACTICES

1. Topsoiling:
Topsoil will stripped from areas to be graded and stockpiled for later use. The stockpile area shall have a silt fence installed around its perimeter.
2. Temporary Seeding:
All denuded areas, which will be left dormant for any extended period of time at least 7 days, shall be seeded with fast germinating temporary vegetation no later than 14 days from the last construction activity in that area. Selection of the seed mixture will depend upon a soil study to determine the best seed application.
3. Permanent Seeding:
All areas disturbed by construction where construction activities permanently cease shall be stabilized with permanent seedling immediately following finish grading. Selection of the seed mixture will depend upon a soil study to determine the best seed and fertilizer application. In all seeding operations, seed, fertilizer and lime will be applied prior to mulching. Mulch will be used over all seeded areas. Seeding (dry or hydraulic) shall meet the project seeding and fertilizer specifications
4. Seeding Specifications:
Refer to drawing EC4.2 "SWPPP DETAILS" for the required seeding and mulching specifications.

PROJECT CONTACT INFORMATION

DEVELOPER:	GENERAL CONTRACTOR:
SULLIVAN BANK	REICON CONSTRUCTORS
GREG SMITH	SEAN CONAWAY
328 EAST SERVICE RD.	204 DREYER AVE.
SULLIVAN, MO 63080	EUREKA, MO 63025
PH: (636) 429-2153	PH: (314) 503-4050

GENERAL CONTRACTOR PROJECT SUPERINTENDENT IN CHARGE OF CONSTRUCTION:	SWPPP INSPECTIONS:
REICON CONSTRUCTORS	GRIMES CONSULTING
SEAN CONAWAY	JACOB BROCKMEYER
204 DREYER AVE.	12300 OLD TESSON ROAD
EUREKA, MO 63025	ST. LOUIS, MO 63128
(314) 503-4050	PH: (314) 849-6100

ACCESSIBILITY OF DOCUMENTS
Copies of the Storm Water Pollution Prevention Plan (SWPPP Plan), Operator weekly inspection reports, and an approved site and grading plan with siltation control locations and types, will be onsite and available to State, and County officials upon request.

PREPARED FOR:
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STORM WATER EROSION/ SEDIMENT CONTROL PROCEDURES

- GENERAL NOTES
1. The following are requirements to be followed by the contractor during all phases of the project. Please note that this construction will be accomplished under the provisions of a general National Pollutant Discharge Elimination System (NPDES) permit issued by the U. S. Environmental Protection Agency (EPA, A Storm Water Pollution Prevention plan (SWPPP) has also been prepared for this project in accordance with EPA regulations (FR 4176, 41236 and 412344). The contractor will be responsible for compliance with the NPDES permit and the SWPPP, as well as with all provisions of these plans and specifications. The contractor will also be responsible to prevent soil or sediment loss from the construction site and cannot leave the site until all erosion control, sediment control and storm water management practices are in place, inspected and have been found to be satisfactory and all temporary practices are in place, inspected and have been found to be satisfactory, and all temporary practices have been properly removed.
2. Any land clearing, construction, or development involving the movement of earth shall be in accordance with the Storm Water Pollution Prevention Plan, and the person issued a Land Disturbance Permit assumes and acknowledges responsibility for compliance with the State of Missouri Land Disturbance Code and the approved Storm Water Pollution Plan at the site of the permitted activity.
3. Prior to the issuance of a Major Land Disturbance Permit, a land disturbance escrow shall be approved by City of Eureka.
4. Prior to any major Land Disturbance Activity, a land disturbance permit from the State of Missouri Department of Natural Resources is required.
5. Sediment shall be washed from all vehicles at Wash Down Station prior to leaving the site. No tracking of mud onto St. Louis County Roads shall be allowed.
6. The Contractor shall keep all State and City land disturbance permits, BMP inspection reports, etc. with the SWPPP plans and be available for inspection.
7. No industrial activities like temporary on site concrete or asphalt batch plants will be use with this project.

STORM WATER MANAGEMENT
The project has been designed to provide positive post-construction control of the excess storm water generated on the site through the use of curbs, gutters, piping and storm water outlets to the receiving stream. The erosion and sediment control measures discussed below also will provide some temporary storm water controls. During the course of construction, the contractor will install and maintain storm water controls in the sequence specified herein to provide the maximum management of storm water for a project of this nature.

EROSION AND SEDIMENT CONTROL
The project has been designed to minimize adverse off-site affects of soil erosion and resulting sediment loss through the use of proper construction techniques and by installing both temporary and permanent management practices. All soil disturbing activities performed by the contractor will be accomplished in such a manner as to prevent the loss of sediment from the construction site during rainfall events. To accomplish this the following specific steps will be taken during construction

1. Immediately after mobilization and prior to initiating any soil disturbing activities, the contractor will install all specified perimeter controls on the site. These practices have been designed to trap any sediment produced during soil disturbing activities and to prevent off-site damage. It is recognized that some minor site preparation may be required to properly install these

2. The recommended sequence for the installation and removal of erosion and sediment control measures is as follows. Perimeter control measures (fiber rolls and silt fencing, etc.) installed at designated area: clean street during construction: site grading, including temporary slope stabilization as needed: installation of utilities: building construction paving : final grading installation of grass: removal of temporary practices: and removal of perimeter controls and site cleanup.
3. During all soil disturbing activities, the contractor will take appropriate steps using accepted construction methods to minimize the time of exposure of unprotected soil and other construction materials to rainfall. Particular care must be exercised when dealing with stockpiles of topsoil or fill materials and with soil on slopes. The contractor will maintain a log of the dates of all major upgrading and soil disturbance activities and of the installation of all management practices or control measures.
4. Temporary stabilization is to take place where soil disturbing activities will cease on any portion of the site and are not planned to resume for a period exceeding 14 calendar days. Temporary stabilization must be initiated immediately upon knowing the duration is more than 14 days. Temporary stabilization must be completed within 7 calendar days if slopes of an area is greater than 3% and greater than 150 feet in length, then the permittee must establish temporary stabilization within 7 days of ceasing operation on that part of the site. Final stabilization of disturbed areas must be initiated immediately and completed within 7 calendar days whenever any clearing, grading, excavation or other earth disturbing activities have permanently ceased on any portion of the site. Allowances to the 7 day completion period for temporary and final stabilization may be made due to weather or equipment malfunctions. The use of allowances shall be documented in the SWPPP.
5. Peripheral or border BMP's to control runoff from disturbed areas shall be installed or marked for preservation before general site clearing is started. This requirement does not apply to earth disturbances related to initial site clearing and entry establishment, exit and access to the site, which may require that stormwater controls be installed immediately after the earth disturbance. Stormwater discharges from disturbed areas which leave the site, shall pass through an appropriate impediment to sediment movement, such as a sedimentation basin, sediment traps, silt fences, etc., prior to leaving the land disturbance site.
6. At the contractor's discretion, or at the direction of Owner, County or State additional temporary erosion control practices (such as fiber roll barriers or silt fences) may be installed along any down slope and side slope perimeter of areas disturbed during earth-moving operations to prevent unnecessary sediment movement. Anchored erosion control matting mulches or other acceptable methods may also be installed at the contractor's discretion to stabilize any unprotected slopes during construction and hold them to final grade.

As site conditions warrant the contractor may also choose to modify the type or arrangement of specified practices to improve their effectiveness. As with any other project changes the contractor must present any such proposed modifications to the Project Engineer for approval prior to installation.

7. The special inspector will inspect all specified practices every week and within 48 hours of a rainfall event to insure that the integrity of each practice is intact. Any damage noted during such inspections will be promptly repaired to restore the practice to its original specifications. The contractor will be responsible for maintenance of all erosion and sediment control practices specified in these plans, including periodic re-grading as needed and final grading after removal of each sediment control measure.

When rainfall causes stormwater runoff to leave the site, the BMP must be inspected within 48 hours after the rainfall event has ceased and within 72 hours on the next business day if the rain event ceases during a non-workday such as on weekends and holidays. the total rainfall measured for that day must be recorded on the inspection report. The special inspector will be notified immediately to make an inspection and make a report.

The special inspector shall maintain a log book of inspections, repairs, or replacement of siltation control barriers. The log shall be dated and signed by the owners representative after each entry. The special inspector will provide their office and cell phone to the contractor for contacting the inspector for any stormwater runoff from the site occur.

8. In the event of any sediment leaving the site or other pollutant spill, the contractor shall take immediate action to clean the area affected and fix the problem that caused the sediment to leave the site or the pollutant spill. The contractor shall notify the owner, special inspector, and the St. Louis County Department of Public Works of the sediment leaving the site or the pollutant spill. The cause and cleanup measures used will be recorded and kept with the SWPPP plans.

9. When water is used for dust control, or to propagate grass, care should be exercised to prevent the escape of this water and any sediment it may carry from the construction site.

10. Care must also be exercised to prevent excessive off-site tracking of mud or sediment by construction vehicles. In addition to the specified graveled entrances, properly graveled transition areas must be established at all temporary site exits to assist in mud removal from departing vehicles. Contractor shall be responsible for cleaning the street when mud is tracked onto the street from construction site.

11. During the site clean-up prior to the possession date, each temporary practice will be completely removed and the area restored to appropriate post-project condition. This will involve final grading and installation of sod or seeding of grass on all bare soil area to establish a minimum of 70% revegetation.

BEST MANAGEMENT PRACTICE

1. Clearing and Grading
* Once any existing building and pavement have been demolished, the debris shall be removed from the site and disposed of in a licensed landfill. Pavement debris may be used as fill under the guidance of the Geotechnical Engineer.
* Stormwater runoff will be directed to a siltation control device such as a silt fence. This device will be maintained as directed by the SWPPP plan.
* ANY silt leaving the site shall be cleaned up and any damaged caused shall be repaired promptly.
* All vehicles leaving the site will be washed of all mud in the designated wash down area. the contractor will maintain this was down area and excessive material will be removed on a regular basis. The wash down area will not be removed until a portion of the new onsite pavement has been established for construction parking.
2. Modular Block Wall
* All excavations shall conform to OSHA standards.
* Once the wall is constructed a fence shall be installed along the top of hte wall to prevent bodily injury.
3. Utilities
* All excavations shall conform to OSHA standards.
* All open trenches shall be marked with a temporary barrier to prevent bodily injury.
4. Concrete Flatwork
* Do not allow fresh concrete to be washed into a storm sewer drain, swale, or stream. Trucks will dump excess material and be washed of all concrete and mud in a designated concrete wash down area.
5. Asphalt Paving
* Do not allow any petroleum products to be washed into a sewer drain, swale, or stream. Products shall be stored in original containers and sealed while not in use.
6. Footings and Foundations
* All excavations shall conform to OSHA standards.
* Do not allow fresh concrete to be washed into a storm sewer drain, swale, or stream. Trucks will dump excess material and be washed of all concrete and mud in a designated concrete wash down area.
7. Use of Paint, Solvents, and Adhesives
* A drop cloth is to be used to prevent paint (fresh or dry) from entering a storm drain, swale, or stream.
* Soiled rags shall be placed in containers approved for paint, solvents, and adhesives.
* All spills will be cleaned up IMMEDIATELY.
* All onsite equipment will not be used if fluid leaks are present. Equipment leaks will be fixed promptly before use. All repairs at to take place offsite of the property.
8. Construction Management
* Make sure all BMPs are in place, inspected, and working.
* Occurrences not listed above shall be handled in a manner as to protect people and the environment from exposure.
* Ensure all employees read and understand the project SWPPP plans and BMPs.
9. Waste Disposal:
Waste items will be collected and stored in a metal dumpster with a secure lid. The dumpster will be emptied once per week, or as necessary to prevent overflow of waste material. Larger waste materials, such as demolished concrete, removed piping, trees, ect., will be immediately hauled away. All waste will be disposed of at an approved landfill, or other construction debris disposal site, in accordance with State and City requirements.
10. Sanitary Waste:
All sanitary waste will be collected from portable units placed at the site by a licensed sanitary waste management contractor. Portable toilet units will be kept clean, and waste disposed of regularly, in accordance with State or County Health Dept. requirements.
11. Hazardous Waste:
All hazardous waste will be disposed of in the manner specified by the State of Missouri regulations. All personnel will be instructed regarding procedures for waste disposal by qualified personnel.

INVENTORY FOR POLLUTION PREVENTION PLAN
The materials or substances listed below are expected to be onsite during construction.

-----	Concrete
-----	Detergents
-----	Paints (enamel and latex)
-----	Tar
-----	Fertilizers
-----	Petroleum Based Products
-----	Cleaning Solvents
-----	Powdered Cement
-----	Other

Non-Storm Water Discharges:
Its is expected that the following non-storm water discharges may occur during construction:

-----	Water line flushing
-----	Pavement washers (where no spills or leaks of toxic or hazardous materials have occurred)
-----	Landscape irrigation runoff
-----	Uncontaminated ground water
-----	Other

12. Spill Prevention
Material Management Practices
The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances to storm water runoff.

13. Good Housekeeping
The following good housekeeping practices will be followed onsite during the construction project.
An effort will be made to store only enough products required to do the job.

All materials stored onsite will be stored in a neat, orderly manner in their appropriate containers and, if possible, under a roof or other enclosure.
Products will be kept in their original containers with the original manufacturer's label.
Substance will not be mixed with one another unless recommended by the manufacturer.
Whenever possible, all of a product will be used up before disposing of the container.
Manufacturers' recommendations for proper use and disposal will be followed.

The site superintendent will inspect daily to ensure proper use and disposal of materials onsite.

14. Hazardous Products
These practices are used to reduce the risks associated with hazardous materials.
Products will be kept in original containers unless they are not resealable.
- Original labels and material safety data will be retained; they contain important product information.
- If surplus product must be disposed of, manufacturers' or local and State recommended methods for proper disposal would be followed.
15. Product Specific Practices
The following products specific practices will be followed onsite:
Petroleum Products:
All onsite vehicles will be monitored for leaks and receive regular preventive maintenance to reduce the chance of leakage. Petroleum products will be stored in tightly sealed containers, which are clearly labeled. Any asphalt or other substances used onsite will be applied according to the manufacturer's recommendations. Onsite gas tanks will be protected with at least a 2 foot, plastic lined dirt berm completely surrounding the tank in case of a leak or spill.
- Fertilizers:
Fertilizers used will be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer will be worked into the soil to limit exposure to storm water. Storage will be in a covered shed. The contents of any partially used bags of fertilizer will be transferred to a sealable plastic bin to avoid spills.

BEST MANAGEMENT PRACTICE CONTINUED:

Points:
All containers will be tightly sealed and stored when not required for use. Excess point will not be discharged to the storm sewer system but will be properly disposed of according to manufacturers' instructions or State and local regulations.

16. Concrete Trucks:
A designated, plastic lined containment area onsite shall be provided for concrete trucks to washout. The washout area will be cleaned periodically to remove hardened concrete. The resulting waste will be disposed of according to the Waste Disposal section of the SWPPP Plan.

Water used in cleaning of cement truck delivery chutes shall be discharged into a predefined, bermed containment area on the job site. The required containment area shall be allowed to infiltrate or evaporate. Dried cement waste is removed from the containment area and properly disposed of.

Should a predefined containment area not be available, a portable washout tank shall be used on site.

17. Spill Control Practices:
In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and cleanup:

Manufacturers' recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.

Materials and equipment necessary for spill cleanup will be kept in the material storage area onsite. Equipment and materials will include but not be limited to brooms, dust pans, mops, rags, gloves, goggles, kitty litter, sand, sawdust, and plastic and metal trash containers specifically for this purpose.

All spills will be cleaned up immediately after discovery.

The spill area will be kept well ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.

Spills of toxic or hazardous material will be reported by the contractor to the Owner and State or local government agency, regardless of the size.

The spill prevention plan will be adjusted to include measures to prevent this type of spill from reoccurring and how to clean up the spill if there is another one. A description of the spill, what caused it, and the cleanup measures will also be included.

The site superintendent responsible for the day-to-day site operations, while the spill prevent and cleanup coordinator. He will designate at least three other site personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup. The names of responsible spill personnel will be posted in the material storage area and in the office trailer onsite.

18. Non-Stormwater Discharges:
Dust control will be implemented as needed once site grading has been initiated and during windy conditions (forecasted or actual wind speeds of 20 mph or greater) when site grading is occurring. Spraying of potable water at a rate of 300 gallons per acre or less will be performed by a mobile pressure-type distributor truck no more than three times a day during the months of May-September and once per day during the months of October-April or whenever the dryness of the soil warrants it.

Waters from dewatering excavations will not be discharged onto the ground. Waters will be discharged into a dewatering basin sized according to the flow rate of the dewatering pump.
Refer to drawing C23.2 for detail of dewatering basin.

Uncontaminated water from water line flushing of the site infrastructure will be discharged so as to avoid any contact with disturbed areas. If water from the line flushing becomes contaminated, the water line will be blocked off and the flush water will be pumped to a tanker truck, which will haul the contaminated water off-site to a POTW for disposal.
Uncontaminated waters from line flushing will not be discharged onto the ground. The waters will be discharged into a dewatering basin sized according to the flow rate of the dewatering pump.
Refer to drawing C23.2 for detail of dewatering basin.

REGULATORY REQUIREMENTS
Legislative actions by the United States Congress, states, counties, and cities have been put in place to protect the environment. Construction projects are required to follow procedures that protect the environment. Some examples of federal regulatory requirements that apply to local construction sites include the following:

1) National Environmental Policy Act (NEPA)
2) Clean Water Act (CWA)
3) Endangered Species Act (ESA)
4) Resource Conservation and Recovery Act (RCRA)
5) Federal Insecticide, Fungicide and Rodenticide Act (FIFRA)

One piece of legislation that considerably impacts construction sites is the Clean Water Act (CWA). The CWA provides a comprehensive, nationwide approach to water quality protection. It requires federal, state and local governments to act cooperatively for the accomplishment of common goals. The Environmental Protection Agency (EPA) classifies storm water runoff from construction sites as a point discharge from an industrial activity. Such storm water discharges from construction related activity having a land disturbance of 1 acre or more, or less than 1 acre that is part of a larger common plan proposed development that will ultimately disturb 1 acre or more, needs to be authorized by a National Pollutant Discharge Elimination System (NPDES) General Permit also known as the Construction General Permit (CGP) issued by the Missouri Department of Natural Resources (MDNR). Other permits may also apply. From time to time the EPA will update their construction site storm water regulations, which construction site operators are required track and implement. NOTE: As of October 1, 2011, EPA has authorized 46 states and the Virgin Islands to implement the basic NPDES program as well as the general permits program; Missouri is an "EPA State", which means the EPA assigns its authority to the MDNR to enforce and carry out its Clean Water objectives. The County, EPA or MDNR can enter a construction/land disturbance site at any time, announced or not, to perform a regulatory compliance inspection.

Permit holder Responsibilities for Administration of Storm Water Pollution Prevention Plan (SWPPP):
The permit holder shall:

1) Notify all contractors and other entities (including utility crews, City employees, or their agents) that will perform work at the site, of the existence of the SWPPP and what actions or precautions shall be taken while on-site to minimize the potential for erosion and the potential for damaging any Best Management Practices (BMP);

2) Determine the need for and establish training programs to ensure that all site workers have been trained, at a minimum, in erosion control, material handling and storage, and housekeeping.

3) Provide copies of the SWPPP to all parties who are responsible for installation, operation or maintenance of any BMP;

4) Maintain a current copy of the SWPPP on the site during the installation, operation, and maintenance of the BMP. The person responsible for the SWPPP shall have a current copy with them when on-site;

5) Cause regular weekly and after-rain special inspections of the land disturbance site by a City approved special inspector as required, including notifying the special inspector of any rainfall event causing storm water runoff to leave the construction site;

6) Ensure that all off-site borrow-from or haul-to sites and similar construction support activities are properly permitted by the authority having jurisdiction;

7) Ensure that dates of major grading activities, construction temporarily or permanently ceased, and stabilization measures initiated are recorded; and

8) Ensure that State and City Permits are posted at the construction site; and

9) Ensure that required City inspections are requested and that the SWPPP and approved site construction plans, if not maintained on-site, are brought to the site for the Inspector's use during the inspections, including any additional or extra City inspections.

Project Closure:
Any land disturbance escrow will not be fully released to the property owner, site operator or permit holder until all of the following have been completed:

1) All temporary storm water control BMP's have been removed and the site has been fully stabilized.

2) All permanent storm water control BMP's have been completed.

3) All final inspections / certifications have been completed by each of the government jurisdictions involved in authorizing the project.

ISSUED FOR PERMIT 12/04/25

STATE OF MISSOURI

LEONARD J. MEERS

NUMBER

E-28288

12/3/25

LEONARD J. MEERS

PROFESSIONAL ENGINEER

E-28288

Chili / Survey

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PE COAF E-1470-D

PLS COAF LS-343-D

DATE				
REV. NO.				
REMARKS				

SITE DEVELOPMENT PLAN FOR

SULLIVAN BANK

12 HILLTOP VILLAGE DR., EUREKA, MO 63025

SHEET TITLE

SWPPP NOTES

JOB NUMBER:	4331.0
DRAWN BY:	JRB
DATE:	12/04/25
CHECKED BY:	LJM
DATE:	12/04/25
SHEET:	

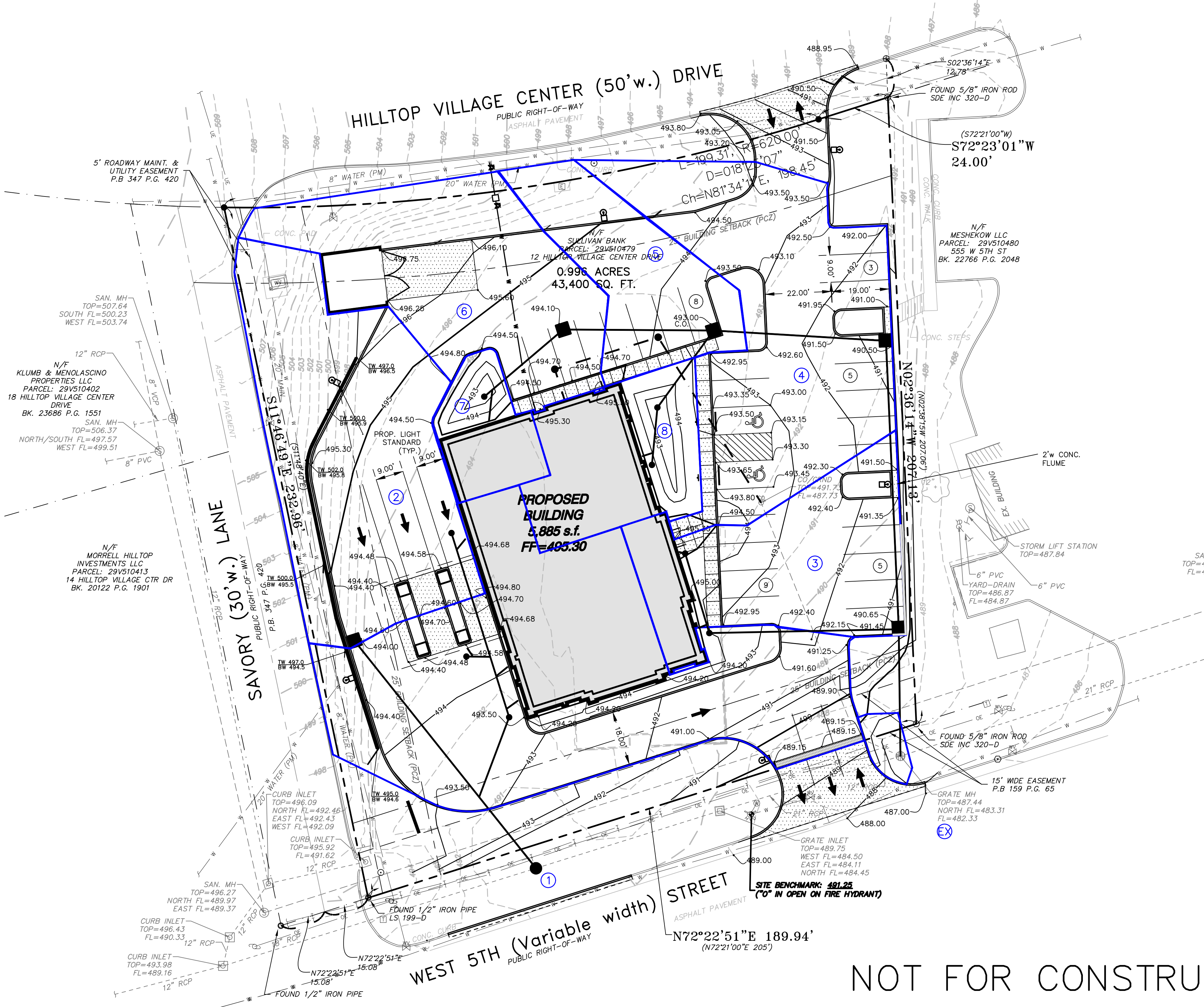
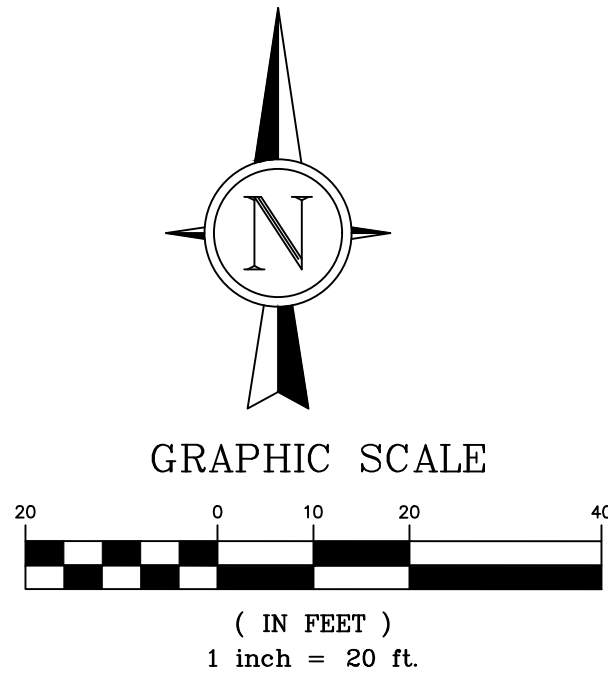
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LEGEND	
PROPOSED CONCRETE BARRIER CURB	
PROPOSED BUILDING	
EXISTING FEATURES	
PROPOSED FEATURES	
PROPERTY LINES	
ORNAMENTAL PICKET FENCE	
PROPOSED SITE RETAINING WALL	
SIDEWALK	
CONCRETE PAVEMENT	

PROPOSED UTILITY LEGEND	
STORM SEWER	
PERFORATED STORM SEWER	
STORM SEWER STRUCTURE	
SANITARY SEWER	
SANITARY LATERAL	
SANITARY SEWER STRUCTURE	
WATERLINE	
GAS LINE	
ELECTRIC LINE	
TELEPHONE/CABLE LINE	



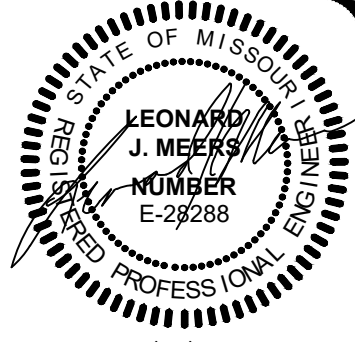
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LOC. NO. 29V510479
 ZIP CODE 63025



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 PE COA# E-1470-D
 PLS COA# LS-343-D

REV. NO.	REMARKS	DATE

SITE DEVELOPMENT PLAN FOR
SULLIVAN BANK
 12 HILLTOP VILLAGE DR., EUREKA, MO 63025

DRAINAGE AREA
 PLAN

SHEET TITLE	JOB NUMBER: 4331.0
DRAWN BY: JRB	DATE: 12/04/25
CHECKED BY: LJM	DATE: 12/04/25
SHEET:	

C-9

NOT FOR CONSTRUCTION

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PREPARED FOR:
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LEGEND

PROPOSED CONCRETE BARRIER CURB

PROPOSED BUILDING

EXISTING FEATURES

PROPOSED FEATURES

PROPERTY LINES

ORNAMENTAL PICKET FENCE

PROPOSED SITE RETAINING WALL

SIDEWALK

CONCRETE PAVEMENT

PROPOSED UTILITY LEGEND

STORM SEWER

PERFORATED STORM SEWER

STORM SEWER STRUCTURE

SANITARY SEWER

SANITARY LATERAL

SANITARY SEWER STRUCTURE

WATERLINE

GAS LINE

ELECTRIC LINE

TELEPHONE/CABLE LINE



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LOC. NO. 29V510479
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DATE

REV. NO.

REMARKS

SITE DEVELOPMENT PLAN FOR

SULLIVAN BANK

LANDSCAPE PLAN

JOB NUMBER: 4331.0

DRAWN BY: JRB

DATE: 12/04/25

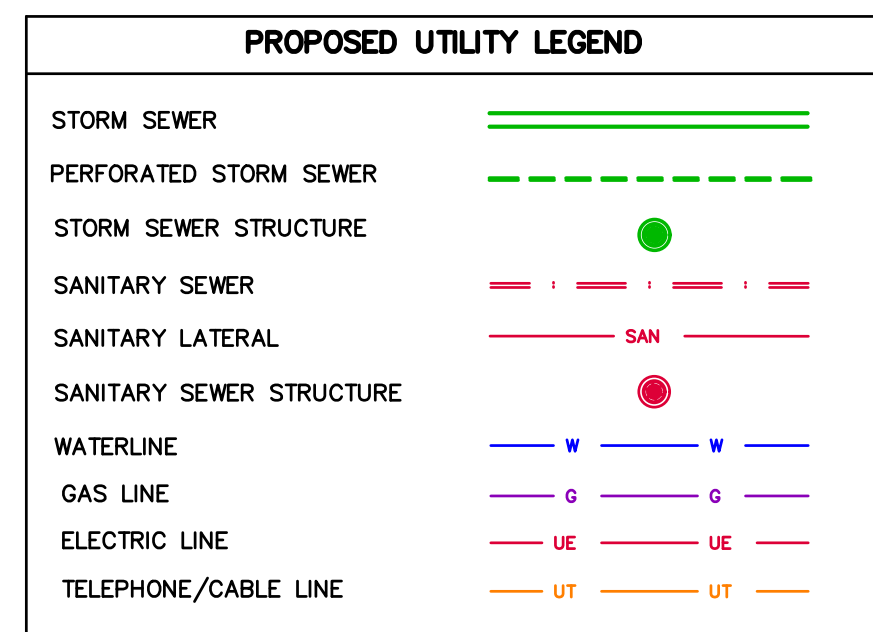
CHECKED BY: LJM

DATE: 12/04/25

SHEET:

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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT_Top	lluminance	Fc	2.58	6.1	0.5	5.16	12.20
PROPERTY LINE	lluminance	Fc	0.11	0.5	0.0	N.A.	N.A.
SIDEWALK_Top	lluminance	Fc	1.92	4.4	0.5	3.84	8.80
UNDER CANOPY	lluminance	Fc	8.59	12.3	4.3	2.00	2.86

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	3	WP	Single	N.A.	0.900	GWS-SA1C-740-U-T4WR-W
	2	A-SLL	Single	N.A.	0.900	GALN-SA2C-840-U-SLL-HSS
	1	A-T4FT	Single	N.A.	0.900	GALN-SA4C-840-U-T4FT-HSS
	3	A-T4W	Single	N.A.	0.900	GALN-SA3C-840-U-T4W-HSS
	6	B	Single	N.A.	0.900	HC415D010-HM40525935-41WDH

NOTES:
ROOM REFLECTANCE
WALLS = 50%
GROUND = 20%

**CALCULATION POINTS ARE ON GRADE
POLE MOUNTED FIXTURES 20' ABOVE GRADE
WALL MOUNTED FIXTURES 12' ABOVE GRADE**

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE AND EXISTING FIELD CONDITIONS THAT EFFECT ANY OF THE PREVIOUSLY MENTIONED , WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



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SHEET TITLE

JOB NUMBER: 4331.0

DRAWN BY: JRB

DATE: 12/04/2011

CHECKED BY: LIM

12/04/2

SHEET:

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PE COA# E-1470-D
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REV. NO.	REMARKS
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SITE DEVELOPMENT PLAN FOR

SULLIVAN BANK

112 HILLTOP VILLAGE DR., EUREKA, MO 63025

PHOTOMETRICS

SHEET: