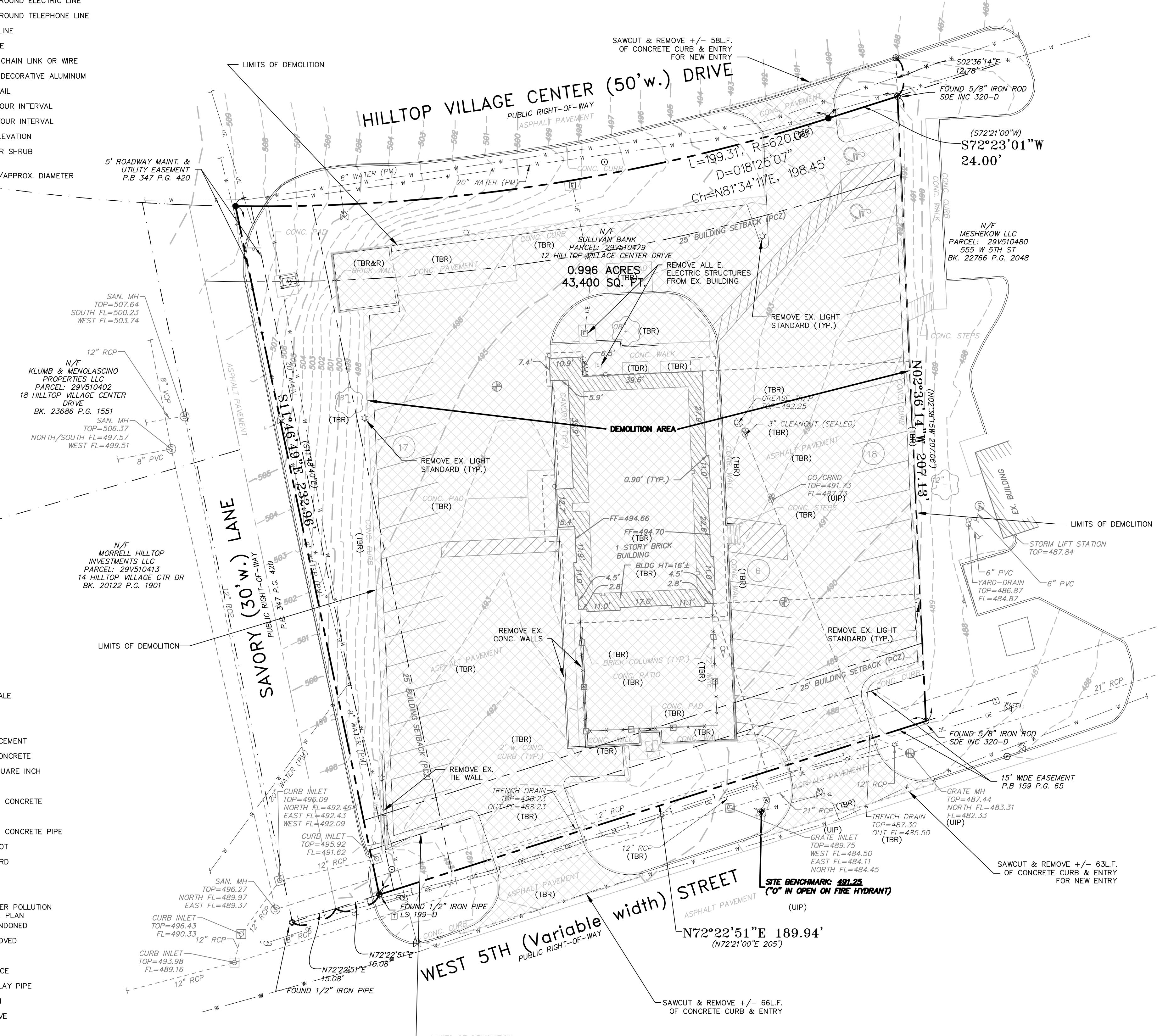
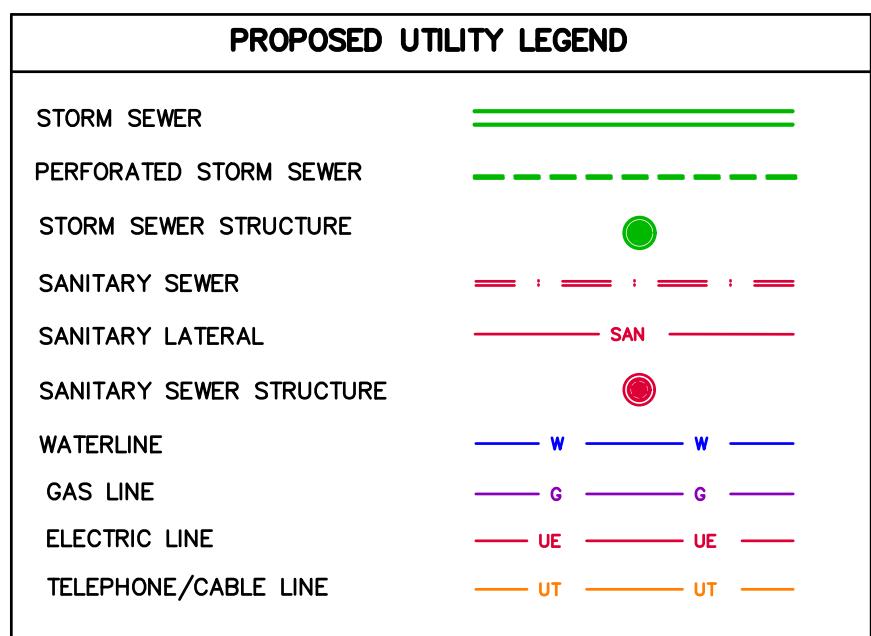
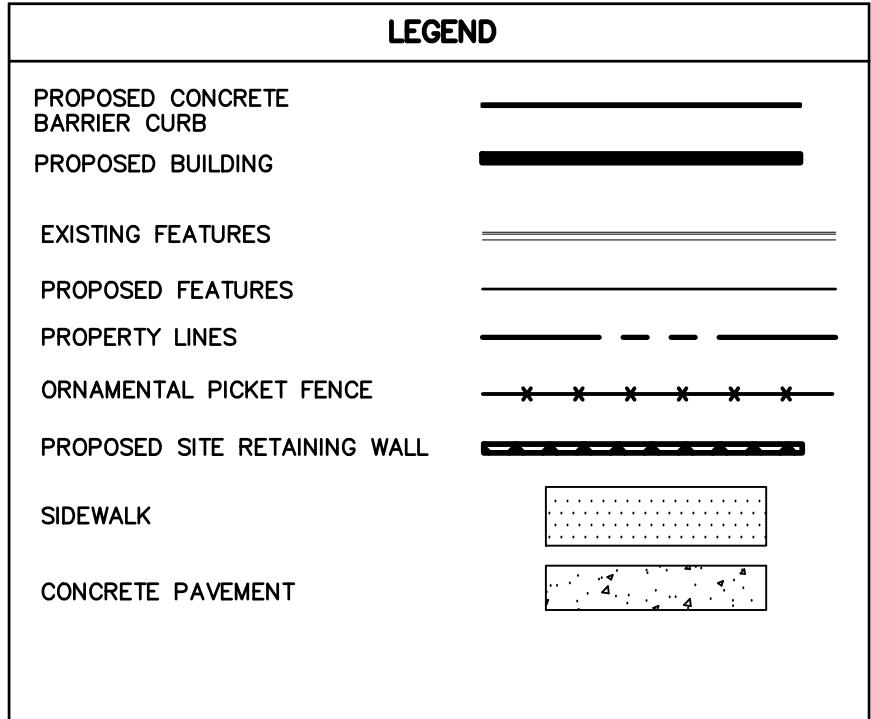


GENERAL NOTES: <p>1. THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, OR LOCATION OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.</p> <p>CONTRACTOR MUST CONTACT "DIG-RITE" (1-800-344-7483) FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATION ON THE SITE.</p> <p>CONTRACTOR TO CONTACT ALL SEWER, GAS, TELEPHONE, WATER AND ANY OTHER UTILITIES PRIOR TO CONSTRUCTION. ALL CONNECTIONS OR REPAIRS ARE TO BE MADE IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENTS.</p> <p>2. ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.</p> <p>3. BOUNDARY AND TOPOGRAPHIC SURVEY BY GRIMES CONSULTING, INC.</p> <p>4. ALL SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT "AMERICAN WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PREDENCE AND THE CONTRACTOR, PRIOR TO ANY CONSTRUCTION, SHALL NOTIFY THE PROJECT ENGINEER.</p> <p>5. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH CITY OF EUREKA AND MISSOURI DEPARTMENT OF TRANSPORTATION (MoDOT).</p> <p>6. NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT.</p> <p>7. ALL STORMWATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.</p> <p>8. ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF EUREKA AND MoDOT.</p> <p>9. ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY CITY OF EUREKA AND MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR). REFER TO SILTATION NOTES.</p> <p>10. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE DEVELOPER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.</p> <p>11. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.</p> <p>12. PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH ELEVATIONS ON PAVED AREAS.</p> <p>13. A GRADING PERMIT IS REQUIRED PRIOR TO ANY GRADING ON THE SITE. NO CHANGE IN WATERSHEDS SHALL BE PERMITTED.</p> <p>14. INTERIM STORMWATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED.</p> <p>15. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORMWATER SYSTEMS IN ACCORDANCE WITH CITY OF EUREKA STANDARDS.</p> <p>16. ADEQUATE TEMPORARY OFF-STREET PARKING SHALL BE PROVIDED FOR CONSTRUCTION ACTIVITIES. PARKING ON SURFACED AREAS SHALL BE PROVIDED IN ORDER THE CLUMPS OF DIRT CONDITION THEREBY MUST NOT FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS.</p> <p>17. INSTALLATION OF LANDSCAPING AND ORNAMENTAL ENTRANCE MONUMENT OR IDENTIFICATION SIGNAGE CONSTRUCTION IF PROPOSED, SHALL BE REVIEWED BY CITY OF EUREKA FOR SIGHT DISTANCE CONSIDERATIONS AND APPROVED PRIOR TO INSTALLATION OR CONSTRUCTION.</p> <p>18. THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE CONSTRUCTION OF UTILITY RELOCATION COSTS ON THE PUBLIC ROAD RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL BE CONSIDERED THE DEVELOPERS RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS.</p> <p>19. ALL DISTURBED EARTH AREAS WITHIN MoDOT COUNTY RIGHT-OF-WAY SHALL BE SEEDED AND MULCHED IN ACCORDANCE TO MoDOT STANDARDS.</p> <p>20. ADDITIONAL SILTATION CONTROL IF REQUIRED SHALL BE INSTALLED AS REQUIRED BY CITY OF EUREKA PUBLIC WORKS DEPARTMENT.</p> <p>21. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE WITH THE UTILITY COMPANIES THE REMOVAL OF EXISTING UTILITY COMPANY FACILITIES THAT CONFLICT WITH ANY NEW DEVELOPMENT AND THE INSTALLATION OF NEW SYSTEMS TO SERVE THE PROPOSED DEVELOPMENT.</p> <p>22. ALL STREETS SHALL BE KEPT OPEN TO TRAFFIC DURING ALL PHASES OF CONSTRUCTION OF IMPROVEMENTS IN THE RIGHT-OF-WAY. NO DRIVING LANES SHALL BE CLOSED WITHOUT PRIOR WRITTEN PERMISSION FROM CITY OF EUREKA AND MoDOT.</p> <p>23. ALL WORK WITHIN MoDOT RIGHT-OF-WAY SHALL BE CONSTRUCTED TO MoDOT STANDARDS.</p> <p>24. THE DEVELOPER OR MUNICIPALITY IS ADVISED THAT UTILITY COMPANIES MAY REQUIRE COMPENSATION FOR RELOCATION OF THEIR FACILITIES WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CITY OF EUREKA AND MoDOT SHALL BEAR NO RESPONSIBILITY FOR UTILITY RELOCATION OR ADJUSTMENT COST OR ASSOCIATED DELAYS.</p> <p>25. ALL SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASH-DOWN STATION PRIOR TO LEAVING THE SITE SO THAT NO SEDIMENT IS TRACKED ONTO THE ROADS.</p> <p>26. A PERMIT SHALL BE OBTAINED FROM THE CITY OF EUREKA PUBLIC WORKS FOR CONSTRUCTION OF RETAINING WALLS.</p> <p>27. ANY OFFSITE PROPERTY OWNERS AFFECTED BY CONSTRUCTION SHALL BE GIVEN NOTICE 48 HOURS IN ADVANCE OF ANY WORK.</p> <p>28. ANY DISTURBED OFF-SITE PROPERTY (i.e. BUSHES, FENCES, MAILBOXES, etc.) SHALL BE REPLACED IN KIND AT THE DEVELOPER'S EXPENSE.</p> <p>29. A DRAINLAYER PERMIT SHALL BE OBTAINED FROM THE CITY OF EUREKA DEPARTMENT OF PUBLIC WORKS FOR INTERNAL (PRIVATE) STORM SEWERS.</p> <p>30. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE FOR MOST CURRENT DETAILS LOCATED IN THE ST. LOUIS COUNTY DESIGN CRITERIA MANUAL AND/OR THE SEDIMENT AND EROSION CONTROL MANUAL.</p> <p>31. ALL HYDRANTS, POWER POLES OR OTHER OBSTRUCTIONS WITHIN STREET RIGHT-OF-WAYS SHALL HAVE A MINIMUM TWO FOOT SETBACK FROM FACE OF CURB OR EDGE OF SHOULDER OF THE ULTIMATE PAVEMENT SECTION OR AS DIRECTED BY THE CITY OF EUREKA PUBLIC WORKS DEPARTMENT.</p> <p>32. ANY ENTITY THAT PERFORMS WORK ON MoDOT MAINTAINED PROPERTY SHALL PROVIDE MoDOT WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE AND AUTOMOBILE PROPERTY DAMAGE COVERAGE. THE AMOUNTS SPECIFIED AS AN ADDITIONAL INSURANCE AND COULD BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO MoDOT. UPON REQUEST, MoDOT WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.</p> <p>33. ACCESS TO ALL PROPERTIES SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS.</p> <p>34. THE CONTRACTOR SHALL MAINTAIN EXISTING TRAFFIC CONTROL SIGNS (STREET NAME, STOP, NO PARKING, ONE-WAY, TURN, etc) UNTIL SUCH TIME AS THEY NEED TO BE REMOVED/RELOCATED FOR CONSTRUCTION OPERATIONS. TEMPORARY SIGNING SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF MUTCD CHAPTER 6 (TEMPORARY TRAFFIC CONTROL ZONES). EXISTING SIGNS NOT LOCATED ON THE GROUND FOR ANY PERIOD OF TIME, PORTABLE SUPPORTS SHALL NOT BE LOCATED ON THE SIDEWALKS OR AREAS DESIGNATED FOR PEDESTRIAN TRAFFIC. SIGNS SHALL BE CRASHWORTHY AND PROPERLY MAINTAINED FOR CLEANLINESS, VISIBILITY, AND PROPER POSITIONING, AND SHALL BE COORDINATED WITH THE CITY OF EUREKA.</p> <p>PREPARED FOR: ARCHITECTURES SP CONTACT: JAY SCHOESSEL 8725 BIG BEND BLVD ST. LOUIS, MO 63119 E: jay@asp-wbe.com P: (314) 434-9700</p>		STORM & SANITARY SEWER NOTES: <p>1. ALL STORM AND SANITARY SEWER STRUCTURES AND APPURTENANCES TO BE DEDICATED TO MSD, OR TO BE PRIVATE UNDER MSD INSPECTION, SHALL CONFORM TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES, 2009, THAT WILL INCLUDE STANDARD DETAILS SHOWN THEREIN, AND SHALL INCLUDE ALL SUBSEQUENT CHANGES MADE THERETO.</p> <p>HIGH DENSITY POLYPROPYLENE (HDPE) PIPE IS NOT ALLOWED FOR GRAVITY SEWERS FOR STORM, COMBINED, OR SANITARY SEWERS THAT ARE "PUBLIC" OR "PRIVATE UNDER MSD INSPECTION".</p> <p>POLYPROPYLENE (PP) PIPE IS ALLOWED AS FOLLOWS FOR GRAVITY SEWERS THAT ARE "PUBLIC" OR "PRIVATE UNDER MSD INSPECTION".</p> <p>FOR USE IN SANITARY AND COMBINED SEWERS 12 TO 60 INCHES IN DIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2764 "STANDARD SPECIFICATION FOR 6 TO 60 IN POLYPROPYLENE (PP) CORRUGATED DOUBLE AND TRIPLE WALL PIPE AND FITTINGS FOR NON-PRESSURE SANITARY SEWER APPLICATIONS".</p> <p>FOR USE IN STORM SEWERS 12 TO 24 INCHES IN DIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2861 "STANDARD SPECIFICATIONS FOR 12 TO 60 IN POLYPROPYLENE (PP) DUAL WALL PIPE AND FITTINGS FOR NON-PRESSURE STORM SEWER APPLICATIONS".</p> <p>FOR USE IN STORM SEWERS 12 TO 60 INCHES IN DIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2764 "STANDARD SPECIFICATION FOR 6 TO 60 IN POLYPROPYLENE (PP) CORRUGATED DOUBLE AND TRIPLE WALL PIPE AND FITTINGS FOR NON-PRESSURE SANITARY SEWER APPLICATIONS".</p> <p>IF REINFORCED CONCRETE PIPE IS USED FOR SANITARY OR COMBINED SEWERS LARGER THAN 27", ALL PIPE AND JOINTS SHALL CONFORM TO ASTM C 361. IN ADDITION, IF THE DIAMETER IS LARGER THAN 48", THE JOINT TYPE MUST INCLUDE A GASKET THAT IS CONFINED IN A GROOVE IN THE SPICOT OF THE PIPE.</p> <p>2. ALL 8" MAINS AND 6" LATERALS TO BE CONSTRUCTED OF P.V.C. SDR-35 THICKWALL PIPE, A.S.T.M. D-3034.</p> <p>3. ALL 8" MAIN AND 6" LATERAL JOINTS TO CONFORM TO A.S.T.M. STANDARD PR SDR-35 THICKWALL COMPRESSION JOINT FOR P.V.C.</p> <p>4. ALL MANHOLE FRAMES AND COVERS SHALL BE M.S.D. STANDARD FRAME AND COVER.</p> <p>5. ALL LATERAL SEWER CONSTRUCTION METHODS TO CONFORM TO LATEST STANDARDS AND SPECIFICATIONS OF ST. LOUIS COUNTY PLUMBING CODE.</p> <p>6. ALL TRENCHES UNDER AREAS TO BE PAVED SHALL BE GRANULARLY FILLED WITH 3/4" CRUSHED LIMESTONE. BACKFILL SHALL BE PLACED IN ACCORDANCE WITH METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARDS.</p> <p>7. CONTRACTOR TO START LAYING PIPE AT DOWNSTREAM MANHOLE AND WORK UPSTREAM.</p> <p>8. SANITARY LATERAL TAILSTAKE ELEVATIONS ARE SHOWN ON THE UTILITY PLAN.</p> <p>9. SANITARY CLEANOUTS SHALL BE LOCATED AT ALL HORIZONTAL AND VERTICAL CHANGES IN DIRECTION OF FLOW OF HOUSE LATERALS AND ANY SANITARY LATERAL OF 100 FEET OR LONGER.</p> <p>10. TYPE "C" BEDDING PER M.S.D. STANDARDS REQUIRED FOR PIPES IN ROCK.</p> <p>11. VERTICAL CLEARANCE BETWEEN SEWER AND WATER MAINS SHALL BE A MINIMUM OF 2'-0".</p> <p>12. ALL REINFORCED CONCRETE PIPE SHALL BE A MINIMUM CLASS III PIPES. IF REINFORCED CONCRETE PIPE IS USED FOR SANITARY OR COMBINED SEWERS LARGER THAN 27 INCHES, ALL PIPE AND JOINTS SHALL CONFORM TO ASTM C 361. IN ADDITION, IF THE DIAMETER IS LARGER THAN 48 INCHES, THE JOINT TYPE MUST INCLUDE A GASKET THAT IS CONFINED IN A GROOVE IN THE SPICOT OF THE PIPE.</p> <p>13. MAINTENANCE OF THE SEWERS DESIGNATED AS "PUBLIC" SHALL BE THE RESPONSIBILITY OF THE CITY OF EUREKA UPON DEDICATION OF THE SEWERS TO THE CITY.</p> <p>14. EXISTING SEPTIC TANKS SHALL BE ABANDONED IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.</p> <p>15. ANY ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY GROUT FILLED.</p> <p>16. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS FOR ALL SEWER STRUCTURES, PIPING, FILL MATERIALS, ETC. AND ARE TO BE APPROVED BY THE PROJECT ENGINEER.</p> <p>17. PIPE JOINTS WITH ADAPTERS AND COUPLINGS SHALL BE SUPPLIED AND INSTALLED WITH 316 STAINLESS STEEL NUT AND BOLT CLAMPS (T-BOLT) CONFIGURATION; AND WITH STAINLESS STEEL SHEAR BANDS, BEING A MINIMUM OF TWELVE (12) MILS (MSD STD. CONST SPECS PT. 2, SUBSECTION H 11). WORM DRIVE HOSE CLAMPS AND CONCRETE BACKFILLING (CAUSTICITY) WILL NO LONGER BE ALLOWED AT THOSE JOINTS. GRANULAR BACKFILL SHOULD BE USED. IF FLOWABLE FILL IS REQUIRED, THE CONTRACTOR SHALL WRAP AND TAPE THE ADAPTERS AND COUPLINGS WITH A SIX (6) MIL POLYETHYLENE SHEET.</p> <p>18. PRIOR TO OBTAINING A CONSTRUCTION PERMIT FROM THE CITY OF EUREKA, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE CITY WITH A COPY OF AND EXEMPTED CERTIFICATE OF INSURANCE INDICATING THAT THE PERMITEE HAS OBTAINED AND WILL CONTINUE TO CARRY COMMERCIAL GENERAL LIABILITY AND COMPREHENSIVE AUTO LIABILITY INSURANCE. THE REQUIREMENTS AND LIMITS SHALL BE REQUIRED BY THE CITY OF EUREKA.</p> <p>19. SOILS ENGINEER WILL VERIFY THAT ALL COMPRESSIBLE MATERIAL HAS BEEN REMOVED PRIOR TO FILL PLACEMENT AND THAT ALL FULL UNDER STORM AND SANITARY SEWER LINES CONSTRUCTED ABOVE THE ORIGINAL GROUND SURFACE, HAS BEEN COMPACTED TO 90% OF THE MODIFIED PROCTOR. FILL IS TO BE PLACED IN A MAXIMUM OF 12" THICK LAYERS. TESTS SHALL BE TAKEN AT A MINIMUM OF 5' FOOT INTERVALS ALONG THE LENGTH OF THE PIPE, AT A MAXIMUM OF 2' FOOT VERTICALLY, AND LATERALLY ON EACH SIDE OF THE PIPE, AT A DISTANCE EQUAL TO THE DEPTH OF FILL OVER THE PIPE. A COPY OF THE RESULTS WILL BE SUBMITTED TO MSD PRIOR TO CONSTRUCTION APPROVAL.</p> <p>WORK IN ROADWAYS: <p>1. CITY OF EUREKA PUBLIC WORKS DEPARTMENT SHALL BE GIVEN A MIN. OF 48 HOURS NOTICE BEFORE WORK IS TO BEGIN.</p> <p>2. ROAD WORK IN ANY STREET SHALL NOT BEGIN BEFORE 8 A.M. AND SHALL END BY 3:00 P.M. TO 3:30 P.M. WITH ONE LANE OF TRAFFIC BEING MAINTAINED AT ALL TIMES ALONG WITH FLAG MAN, BARRICADES, ETC., AS REQUIRED BY THE PUBLIC WORKS DEPARTMENT.</p> <p>3. THE CONTRACTOR SHALL FURNISH, MAINTAIN, AND REMOVE TRAFFIC CONTROL DEVICES FOR THE PURPOSE OF REGULATING, WARNING, AND DIRECTING TRAFFIC DURING ALL PHASES OF CONSTRUCTION IN ROADWAYS. ALL FLAGMAN, BARRICADES, WARNING SIGNS, ETC. SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.</p> <p>4. PAVEMENT TO BE REMOVED SHALL BE SAW CUT AND SHALL BE REPLACED WITH 8 1/2" TYPE "X" BITUMINOUS CONCRETE BASE OVERLaid WITH 2" TYPE "C" BITUMINOUS CONCRETE OR AS INDICATED ON THE PLANS.</p> <p>5. IF THE INSTALLATION UNDER PAVEMENT AREAS REQUIRES MORE THAN ONE DAY, THE TRENCH SHALL BE BACKFILLED WITH GRANULAR MATERIAL TO WITHIN 1" TO 2" OF THE SURFACE AND PATCH WITH 2" TYPE 'C' ASPHALTIC CONCRETE AT THE END OF EACH DAY'S WORK, OR COVERED BY STEEL ROADWAY PLATES.</p> <p>6. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE UTILITY COMPANY PRIOR TO CONNECTION OF THE PROPOSED UTILITY. CONTRACTOR SHALL APPLY FOR REQUIRED UTILITY PERMITS.</p> <p>7. ALL EXISTING IMPROVEMENTS THAT ARE DISTURBED SHALL BE REPLACED IN KIND AT THE DEVELOPER'S EXPENSE INCLUDING RE-SODDING, REPLACEMENT OF TREES AND SHRUBBERY, FENCING, ETC.</p> <p>8. CONSTRUCTION SITE RUNOFF: CONSTRUCTION SITE RUNOFF SHALL NOT FLOW INTO BMP AREAS. ALL STORMWATER FLOW TO BMP AREAS SHALL BE DIVERTED, PLUGGED, OR DISCONNECTED UNTIL THE CONSTRUCTION SITE IS STABLE AND THE MSD INSPECTOR PROVIDES APPROVAL TO PLACE THE BMP ONLINE.</p> <p>9. ALL SEPTIC SEWER SYSTEMS SHALL MEET THE REQUIREMENTS OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR).</p> </p>	GENERAL DEMOLITION NOTES: <p>1. THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.</p> <p>CONTRACTOR MUST CONTACT "DIG-RITE" (1-800-344-7483) FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATION ON THE SITE.</p> <p>CONTRACTOR TO CONTACT ALL SEWER, GAS, TELEPHONE, WATERLINE AND ANY OTHER UTILITIES PRIOR TO CONSTRUCTION. ALL CONNECTIONS OR REPAIRS ARE TO BE MADE IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENTS.</p> <p>2. GENERAL CONTRACTOR RESPONSIBLE TO COORDINATE DEMOLITION, RELOCATING, DISCONNECTING, AND CAPPING OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION WITH APPROPRIATE UTILITY COMPANY.</p> <p>3. DUE CARE IS TO BE TAKEN TO AVOID UNDUE DAMAGE TO ADJACENT STRUCTURES/FINISHES AND SCHEDULED ITEMS TO REMAIN.</p> <p>4. GENERAL CONTRACTOR TO REMOVE ALL DEBRIS, RUBBISH, AND OTHER MATERIAL RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE. COORDINATE LOCATION OF DUMPSITE WITH OWNER PRIOR TO ITS DELIVERY. ALL DEBRIS REMOVED FROM SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS. A LICENSED DEMOLITION LANDFILL.</p> <p>5. IF UNANTICIPATED ELECTRICAL, PLUMBING, OR STRUCTURAL ELEMENTS ARE ENCOUNTERED WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN, NOTIFY ENGINEER IMMEDIATELY.</p> <p>6. GENERAL CONTRACTOR TO COORDINATE ALL PHASING OF DEMOLITION AND NEW CONSTRUCTION WITH OWNER.</p> <p>7. PROMPTLY REPAIR DAMAGES TO ADJACENT AREAS SCHEDULED TO REMAIN CAUSED BY DEMOLITION WORK.</p> <p>8. GENERAL CONTRACTOR SHALL CATALOG AND PROPERLY STORE ALL EXISTING ITEMS SCHEDULED TO BE REINSTALLED.</p> <p>9. ALL SEWER STRUCTURES TO BE ABANDONED SHALL HAVE THE STRUCTURE COMPLETELY REMOVED. ALL PIPES TO THE STRUCTURE SHALL BE CAPPED.</p> <p>10. ALL EXISTING SEWER STRUCTURES TO BE USED IN PLACE (U.I.P.) SHALL BE PROTECTED BY THE PLACEMENT OF BARRICADES OR A SIMILAR DEVICE AROUND THE STRUCTURE.</p>	GRADING NOTES: <p>1. ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT INVOLVING THE MOVEMENT OF EARTH SHALL BE IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN, AND THE PERSON ISSUED A LAND DISTURBANCE PERMIT ASSUMES AND ACKNOWLEDGES RESPONSIBILITY FOR COMPLIANCE WITH THE CITY OF EUREKA AND MDNR LAND DISTURBANCE CODE AND THE APPROVED STORM WATER POLLUTION PREVENTION PLAN AT THE SITE OF THE PERMITTED ACTIVITY.</p> <p>2. NOTIFY CITY OF EUREKA 48 HOURS (EXCLUDING WEEKENDS & HOLIDAYS) PRIOR TO THE COMMENCEMENT OF GRADING AND/OR CONSTRUCTION.</p> <p>3. ALL GRADING AND PLACEMENT OF FILL SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT IF ONE WAS PREPARED FOR THIS SITE.</p> <p>4. PARKING ON NON-SURFACED AREAS IS PROHIBITED. IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS.</p> <p>5. THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS THERETO SHALL BE CLEANED THROUGHOUT THE DAY. THE SURROUNDING STREETS ARE NOT TO BE USED AS PARKING AREAS.</p> <p>6. EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.</p> <p>7. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DEEMED NECESSARY BY CITY OF EUREKA.</p> <p>8. TEMPORARY SILTATION CONTROL MEASURES (STRUCTURAL) SHALL BE MAINTAINED UNTIL 70% VEGETATIVE COVER IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON SITE.</p> <p>9. WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION.</p> <p>10. IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF A PERMANENT GROUND COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES OR SUDAN GRASSES SHALL BE UTILIZED TO RETARD EROSION.</p> <p>11. ALL FINISHED GRADES (AREAS NOT TO BE DISTURBED BY FUTURE IMPROVEMENT) IN EXCESS OF 20% SLOPES (5:1) SHALL BE MULCHED AND TACKED AT THE RATE OF 100 POUNDS PER 1000 SQUARE FEET WHEN SEDED.</p> <p>12. NO EXCAVATION SHALL BE MADE SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PROPERTY OR ANY PUBLIC OR PRIVATE STREET WITHOUT SUPPORTING AND PROTECTING SUCH PUBLIC OR PRIVATE STREET OR PROPERTY FROM SETTLING, CRACKING OR OTHER DAMAGE.</p> <p>13. STORM SEWER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.</p> <p>14. SILTATION FENCES OR SILT LOGS SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT THAT ACCUMULATES. REMOVAL OF SEDIMENT SHALL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE. THE CONTRACTOR SHALL KEEP A LOG BOOK OF SUCH INSPECTIONS/MAINTENANCE AND SHALL MAKE THE LOG BOOK AVAILABLE FOR CITY INSPECTION.</p> <p>15. ALL FILLS PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY, SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED ASHFAIR TEST" (ASTM D-1557) FOR THE SOIL. FOR ALL TRENCHES, A COMPACTED GRANULAR BACKFILL IS REQUIRED IN ALL TRENCH EXCAVATION WITHIN THE STREET RIGHT-OF-WAY AND UNDER ALL PAVED AREAS. ALL TESTS SHALL BE PERFORMED UNDER THE DIRECTION OF AND VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.</p> <p>16. SOFT SOILS IN THE BOTTOM AND BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OF ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SOUFFICENTLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY LOCATIONS OR IN ANY STORM SEWER LOCATION.</p> <p>17. ALL TRASH AND DEBRIS ON SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED IMMEDIATELY AND PROPERLY DISPOSED OF OFFSITE.</p> <p>18. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS SCHEDULED TO BE RAISED FOR THIS DEVELOPMENT MUST BE IMMEDIATELY AND PROPERLY DISPOSED OF OFFSITE.</p> <p>19. ANY WELLS, CISTERNS AND/OR SPRINGS, WHICH MAY EXIST ON THIS PROPERTY, SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE TO CITY OF ST. LOUIS CITY AND THE MISSOURI DEPARTMENT OF NATURAL RESOURCES.</p> <p>20. ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (33%), UNLESS SPECIFICALLY APPROVED OTHERWISE.</p> <p>21. ALL OFF-SITE DISTURBED AREAS SHALL BE SEDED AND MULCHED MEETING THE REQUIREMENTS OF MoDOT AND SWPPP SEDIMENT AND EROSION CONTROL PLAN.</p> <p>22. PRIOR TO ANY MAJOR LAND DISTURBANCE ACTIVITY, A LAND DISTURBANCE PERMIT FROM THE STATE OF MISSOURI DEPARTMENT OF NATURAL RESOURCES IS REQUIRED.</p> <p>23. SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASH DOWN STATION PRIOR TO LEAVING THE SITE. NO TRACKING OF MUD ONTO ROADS SHALL BE ALLOWED.</p> <p>24. THE CONTRACTOR SHALL KEEP A COPY OF THE LAND DISTURBANCE PERMIT AND SWPPP PLAN ON SITE AT ALL TIMES FOR ANY AGENCY INSPECTION MADE. A PUBLIC NOTIFICATION SIGN MAY BE REQUIRED BY MDNR.</p> <p>25. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.</p> <p>26. FILL AREAS UNDER PROPOSED STORM AND SANITARY SEWERS, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED ASHFAIR TEST (ASTM D-1557) FOR THE SOIL. FOR ALL FILLS PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.</p> <p>27. SEDIMENTATION BASIN-TEMPORARY: DURING CONSTRUCTION; IF SITE RUNOFF FLOWS INTO A TEMPORARY SEDIMENT BASIN THAT WILL BE CONVERTED TO A PERMANENT BMP AREA, THEN AFTER THE TRIBUTARY AREA IS COMPLETELY STABLE THE SEDIMENT BASIN WILL NEED TO BE CLEANED OF ALL SILT, SEDIMENT, AND TRASH THAT HAS ACCUMULATED WITHIN IT. OVER EXCAVATE AS NEEDED TO ALLOW FULL DEPTH OF THE BMP SECTION. BMP PLANTING, IF APPLICABLE, CAN BE INSTALLED ONLY AFTER THIS HAS BEEN DONE. THE INSPECTOR PROVIDES APPROVAL TO PLACE THE PLANTINGS.</p>
SEWER CONTRACTOR NOTE: <p>FOR SEWER PIPE (STORM, SANITARY AND COMBINED) WITH A DESIGN GRADE LESS THAN ONE PERCENT (1%), VERIFICATION OF THE PIPE GRADE WILL BE REQUIRED FOR EACH INSTALLED REACH OF SEWER, PRIOR TO ANY SURFACE RESTORATION OR INSTALLATION OF ANY SURFACE IMPROVEMENTS. THE CONTRACTOR'S FIELD SUPERVISOR WILL BE REQUIRED TO PROVIDE DAILY DOCUMENTATION VERIFYING THAT THE AS-BUILT PIPE GRADE MEETS THE DESIGN GRADE THROUGH THE SUBMITTAL OF SIGNED CUT SHEETS TO THE INSPECTOR UPON REQUEST.</p> <p>FIELD SURVEYED VERIFICATION MUST BE MADE UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR OR REGISTERED ENGINEER. THE CONTRACTOR WILL BE REQUIRED TO REMOVE AND REPLACE ANY SEWER REACH HAVING AN AS-BUILT GRADE WHICH IS FLATTER THAN THE DESIGN GRADE BY MORE THAN 0.1% SLOPES WHICH GRADE IS GREATER THAN THE DESIGN SLOPE. THE AS-BUILT GRADE PROVIDED BY THE CONTRACTOR SHALL BE REDUCED BY THIS VARIANCE IN THE AS-BUILT GRADE.</p> <p>THE CITY OF EUREKA RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REPLACE ANY SEWER (AT ANY TIME PRIOR TO CONSTRUCTION APPROVAL) FOR WHICH THE AS-BUILT GRADE DOES NOT COMPLY WITH THE GRADE TOLERANCE STATED IN THE ABOVE PARAGRAPH.</p> <p>THE SEWER CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE FIELD VERIFICATION OF THE SEWER GRADE, OR REMOVAL AND REPLACEMENT OF THE SEWER PIPE OR ASSOCIATED APPURTENANCES.</p> <p>SOILS ENGINEER WILL VERIFY THAT ALL COMPRESSIBLE MATERIAL HAS BEEN REMOVED PRIOR TO FILL PLACEMENT AND THAT ALL FILL, UNDER SANITARY AND STORM SEWER LINES CONSTRUCTED ABOVE THE ORIGINAL GROUND SURFACE, HAS BEEN COMPACTED TO 90% OF THE MODIFIED PROCTOR. FILL IS TO BE PLACED IN A MAXIMUM OF 12" THICK LAYERS. TESTS SHALL BE TAKEN AT A MINIMUM OF 5' FOOT INTERVALS ALONG THE LENGTH OF THE PIPE, AT A DISTANCE EQUAL TO THE DEPTH OF FILL OVER THE PIPE. A COPY OF THE RESULTS WILL BE SUBMITTED TO MSD PRIOR TO CONSTRUCTION APPROVAL.</p> <p>A COPY OF THESE RESULTS WILL BE SUBMITTED TO OWNER AND PROJECT ENGINEER PRIOR TO CONSTRUCTION.</p>		S		

LEGEND

Utility Pole	□ - - - Storm Drain w/Grate Inlet
Guy Wire	□ - - - Storm Drain w/Area Inlet
Light Pole	○ - - - Storm Drain w/Manhole
Traffic Signal Box	○ - - - Sanitary Sewer w/Manhole
Traffic Light	— Overhead Electric Line
Electric Box	— UnderGround Electric Line
Electric Meter	— T UnderGround Telephone Line
Electric Manhole	— W Water Line
Telephone Box	— G Gas Line
Telephone Manhole	— X Fence: Chain Link or Wire
Fire Hydrant	— ○ Fence: Decorative Aluminum
Water Meter	— Guardrail
Water Valve	— 1' Contour Interval
Water Manhole	— 5' Contour Interval
Gas Meter	— SPOT ELEVATION
Gas Valve	— BUSH OR SHRUB
Gas Drip	— TREE w/ APPROX. DIAMETER
Street Sign	— BOLLARD OR POST
Bollard or Post	— PARKING METER
Mailbox	— YARD DRAIN
Yard Drain	— CLEANOUT
Cleanout	— FLARED END SECTION





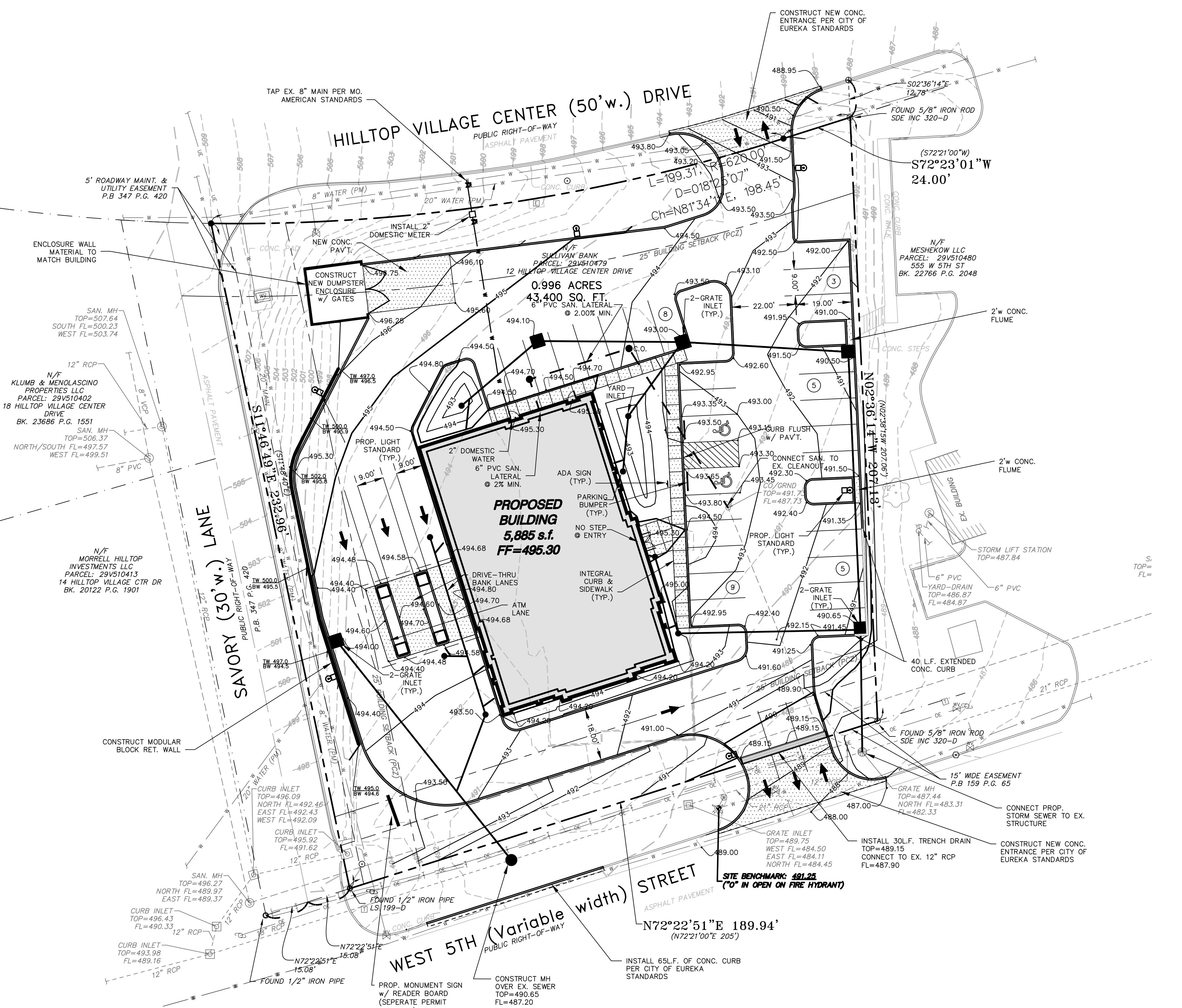
NOTE: SANITARY LATERALS TO BE 6" PVC AT 2% MINIMUM SLOPE.

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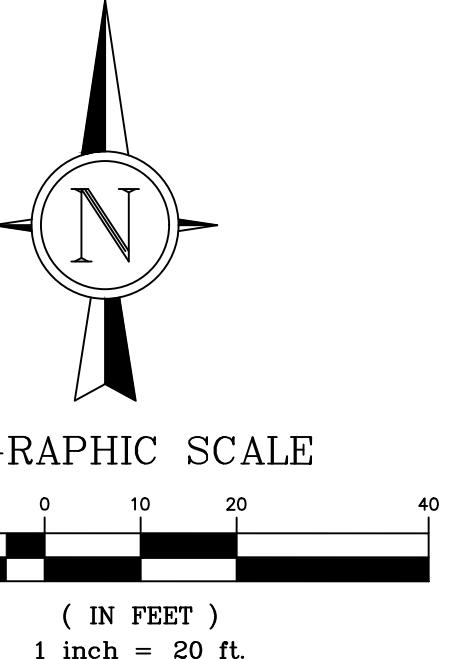
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NOTE: IT WILL BE NECESSARY TO OBTAIN SEPARATE BUILDING PERMITS FOR ALL RETAINING WALLS.

NOTE: ALL PARKING LOT LIGHT FIXTURES SHALL NOT EXCEED 20' IN HEIGHT FROM FINISHED GRADE.



PREPARED FOR:
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PARKING SUMMARY

TYPE	STANDARD	ACCESSIBLE	TOTAL
SURFACE	28	2	30
TOTAL	28	2	30

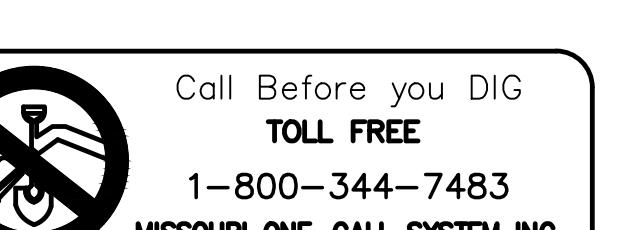
ORDINANCE PARKING REQUIRED: (BANK OVER 4,000SF) 1 PS PER 200 SF GROSS FLOOR AREA = 1*(5885/200) = 30 PS
TOTAL REQUIRED PARKING = 30 PS
TOTAL PARKING PROVIDED = 30 PS

MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 2, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 26 AND 50, PER ADAAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 2

GREENSPACE CALCULATIONS

SITE AREA = 43,420 S.F.
BUILDING COVERAGE = 5,885 S.F.
PAVED AREA = 24,170 S.F.
DIFFERENCE = 13,361 S.F. GREENSPACE

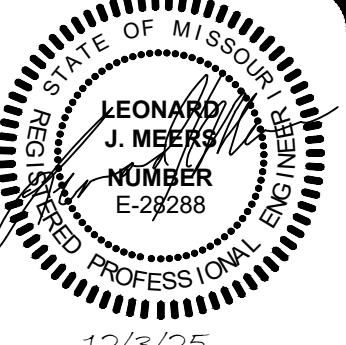
$[(13,361 \text{ S.F.}) / (43,420 \text{ S.F.})] \times 100 = 30.77\% \text{ GREENSPACE}$
 $[(5,885 \text{ S.F.}) / (43,420 \text{ S.F.})] \times 100 = 13.55\% \text{ FLOOR AREA RATIO}$



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LOC. NO. 29V510479
ZIP CODE 63025

C-4



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TEL: 314-849-6010
FAX: 314-849-6010
www.grimesconsulting.com

DATE	REMARKS

SITE DEVELOPMENT PLAN FOR SULLIVAN BANK

PROPOSED SITE PLAN

ISSUED FOR PERMIT 12/04/25

SHEET TITLE

JOB NUMBER: 4331.0

DRAWN BY: JRB

DATE: 12/04/25

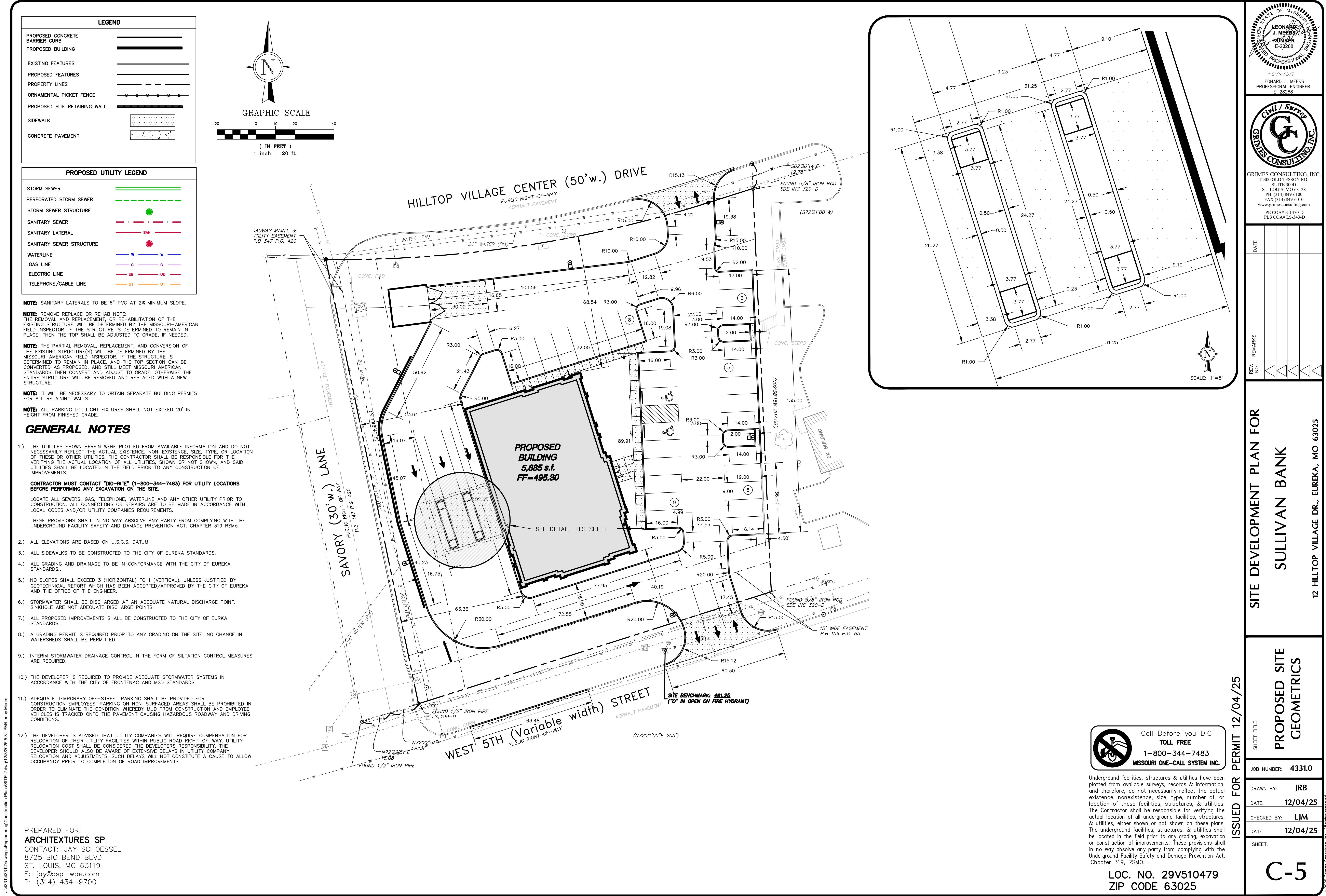
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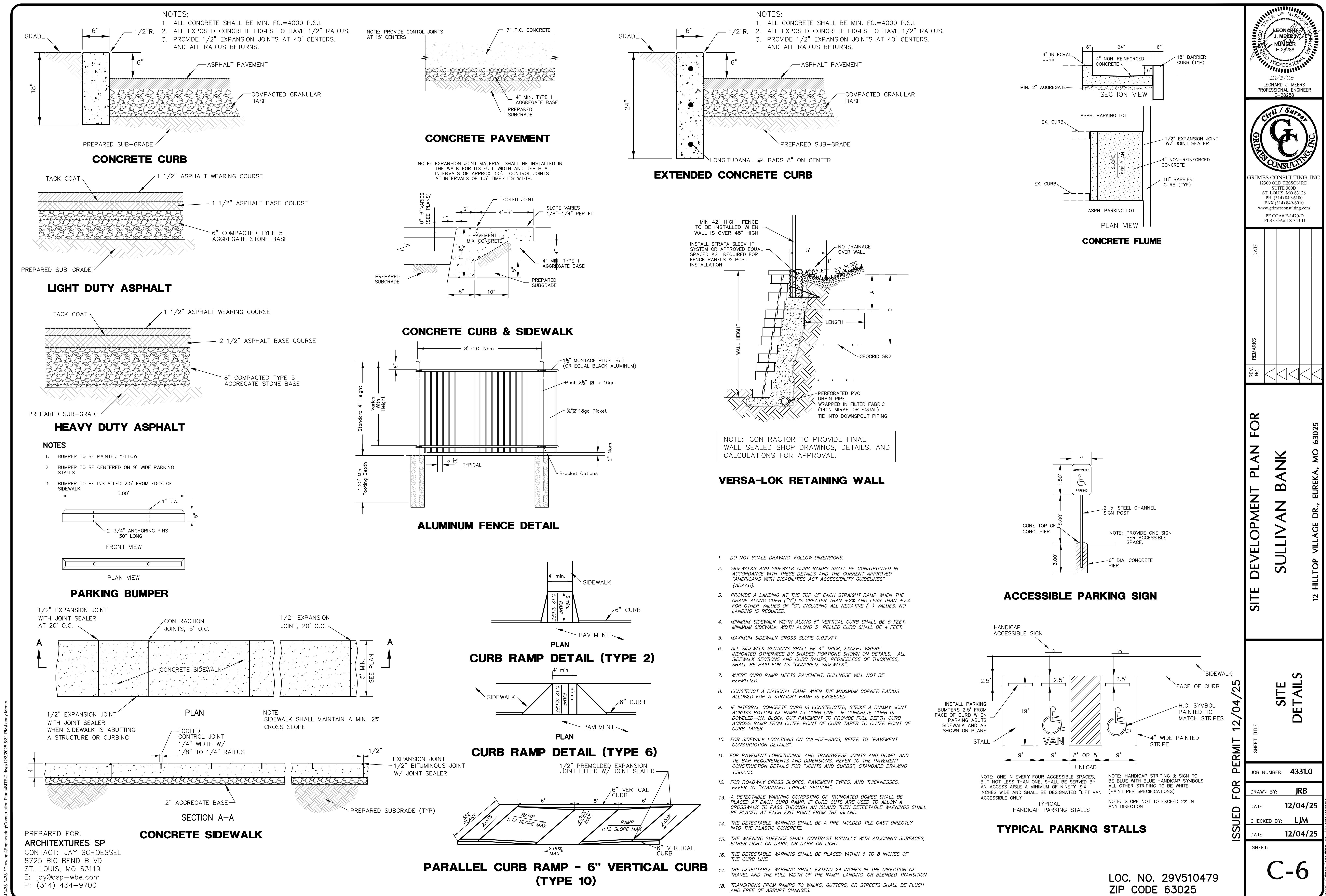
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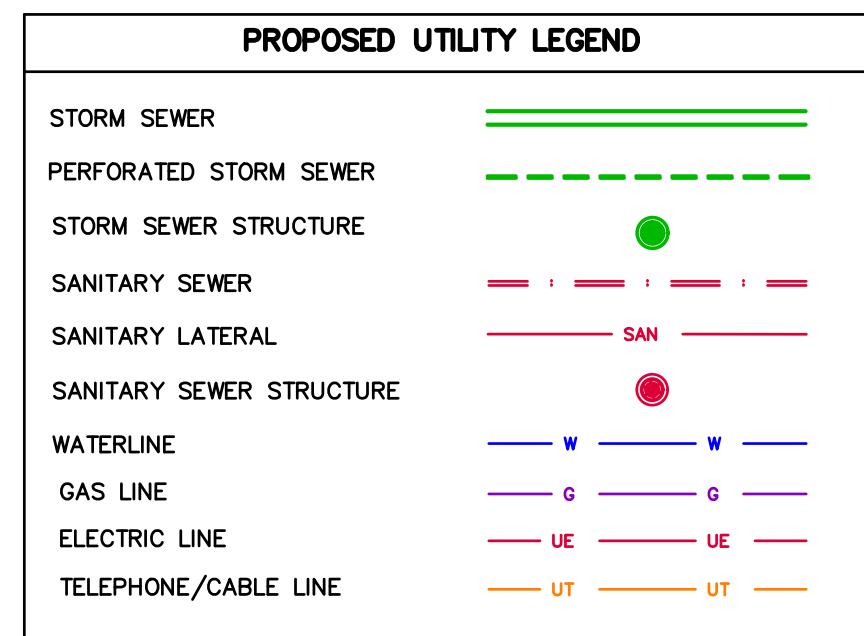
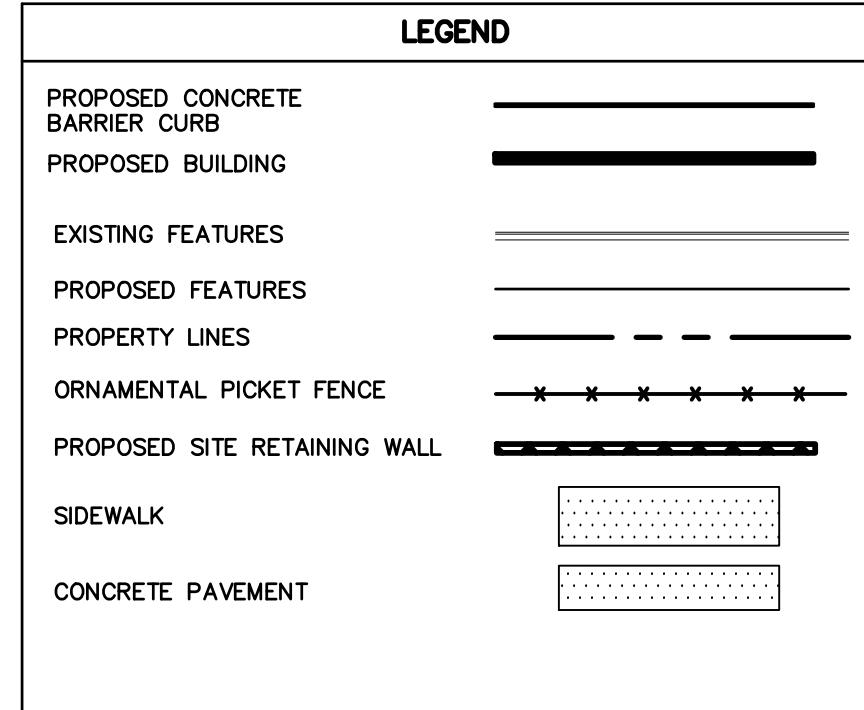
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12 HILLTOP VILLAGE DR., EUREKA, MO 63025

C-4







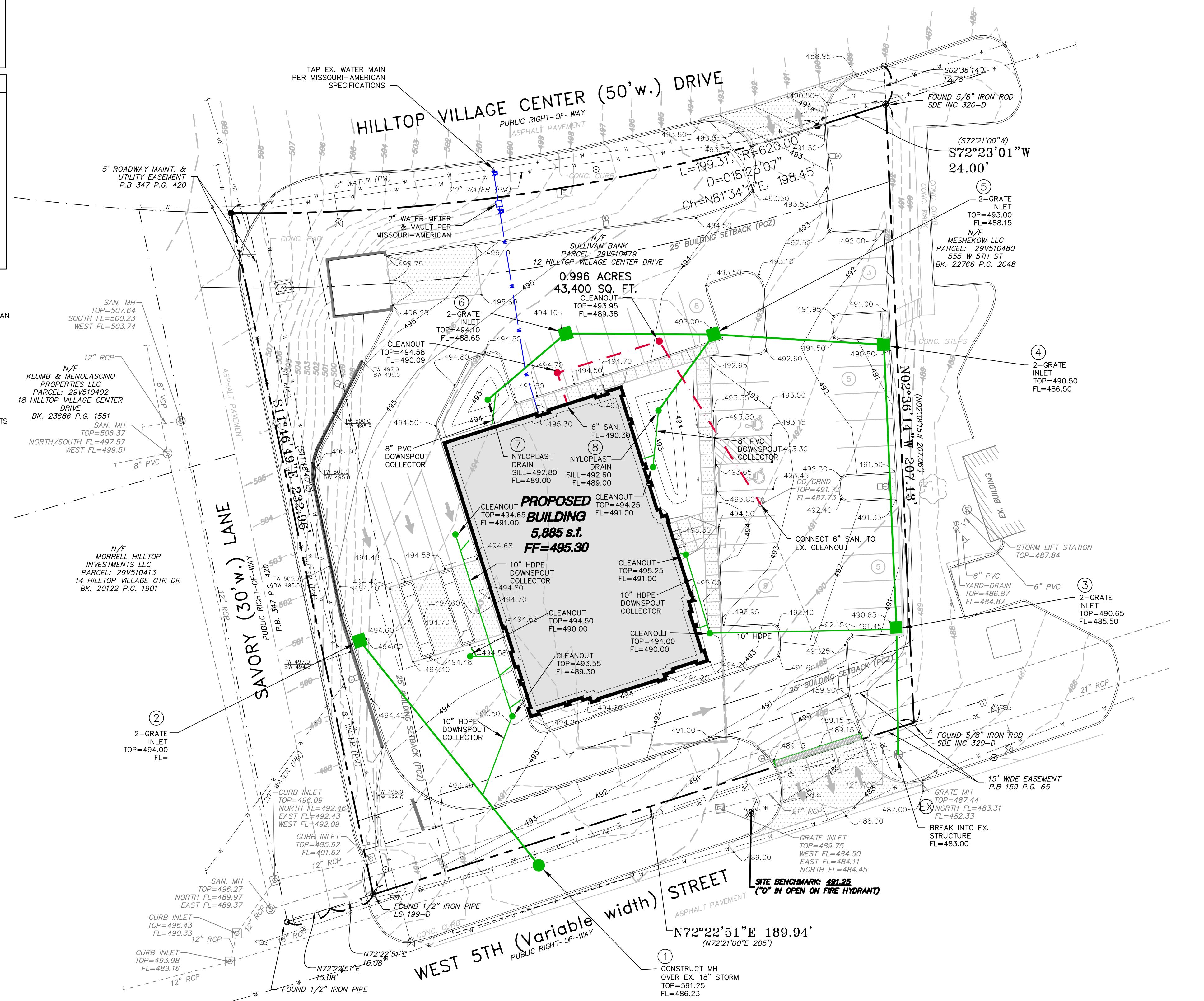
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SITE DEVELOPMENT PLAN FOR SULLIVAN BANK

SITE UTILITY PLAN

ISSUED FOR PERMIT 12/04/25

SHEET TITLE

JOB NUMBER: 4331.0

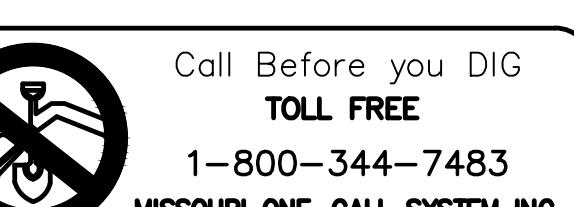
DRAWN BY: JRB

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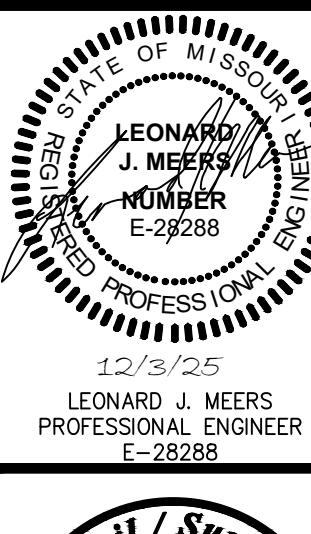
SHEET:



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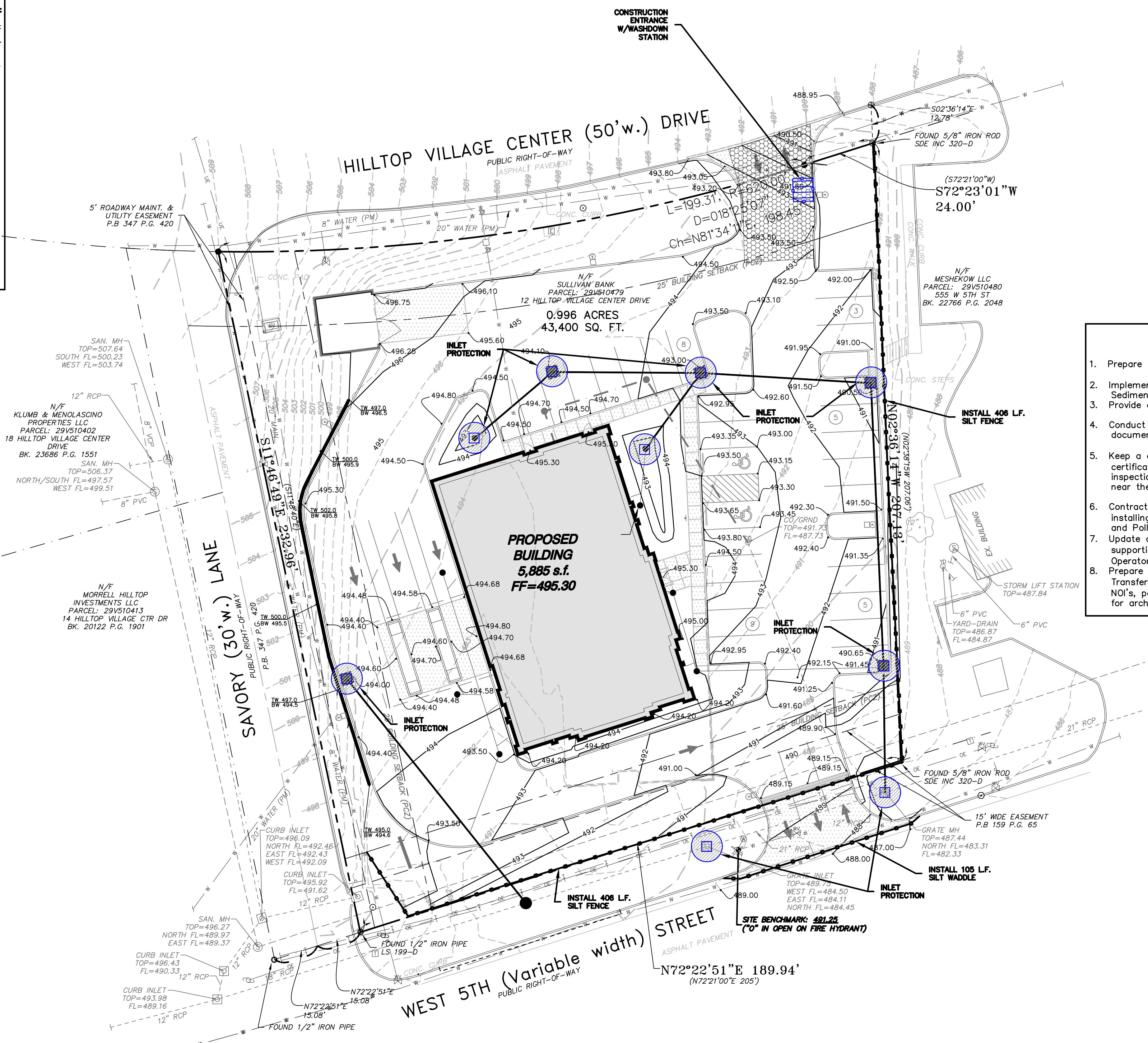
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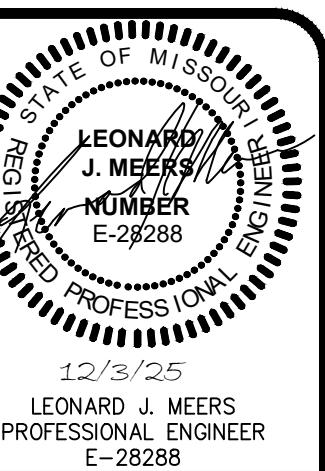


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DATE	REMARKS

LEGEND	
EXISTING FEATURES	-----
PROPOSED FEATURES	_____
PROPOSED CONCRETE CURB	_____
PROPOSED BUILDING	_____
PROPERTY LINES	-----
PROPOSED STORM SEWER	=====
EXISTING STORM SEWER	=====
PROPOSED GRADING CONTOUR	998
EXISTING CONTOUR	1000
PROPOSED GRATE INLET	_____
PROPOSED CURB INLET	_____
PROPOSED SILT FENCE	SF
INLET PROTECTION	□
CONSTRUCTION ENTRANCE AND PARKING	□
CONTRACTOR INSTALLED SWALE TO PROVIDE DRAINAGE TO PROPOSED INLETS	~~~~~
PROPOSED SILT WATTLES	SW





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PE CO# E-1470-D
PLS CO# LS-343-D

DATE
REV. NO. REMARKS
△△△△

ISSUED FOR PERMIT 12/04/25
SHEET TITLE: SITE DEVELOPMENT PLAN FOR
SHEET NUMBER: 4331.0
SHEET: SULLIVAN BANK
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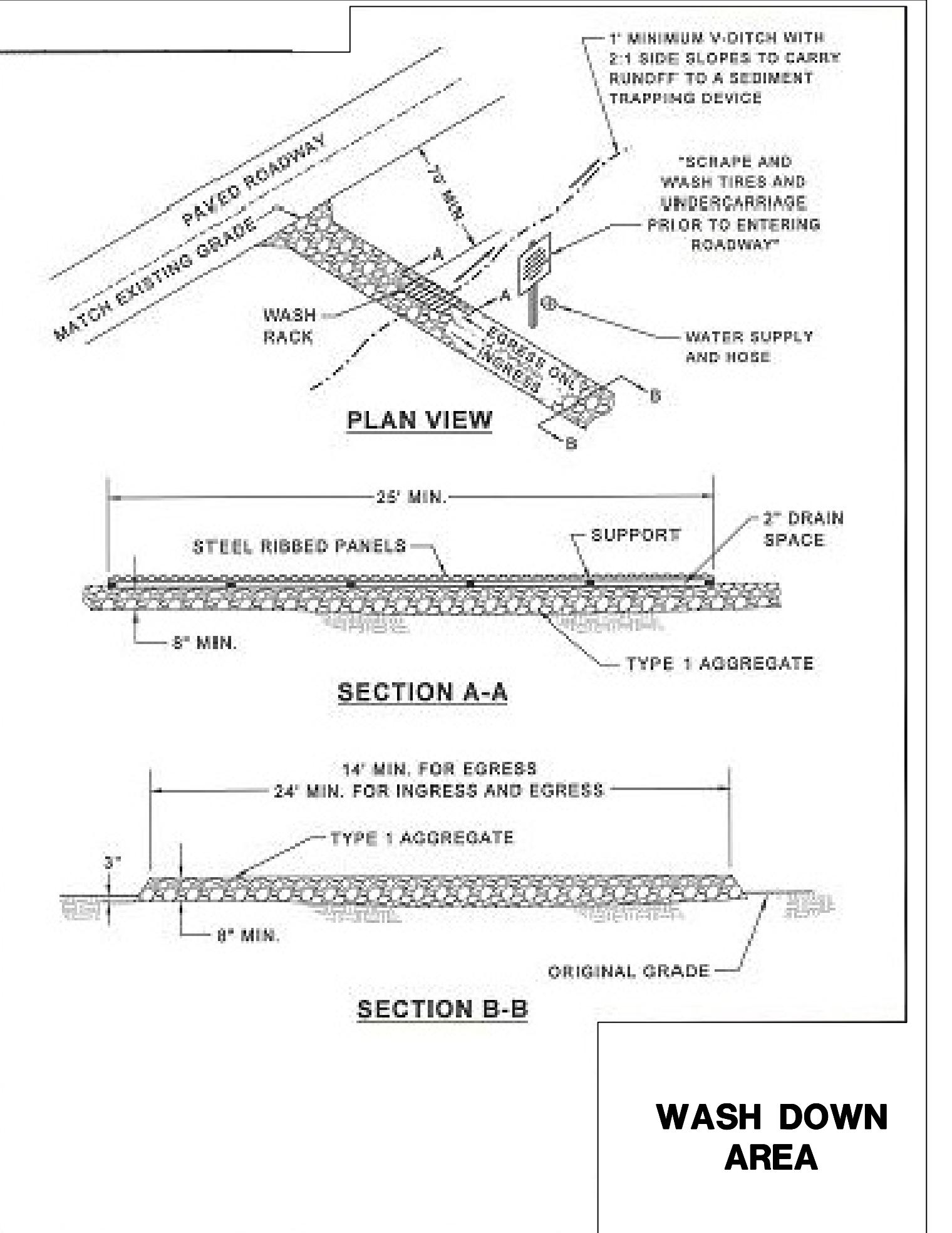
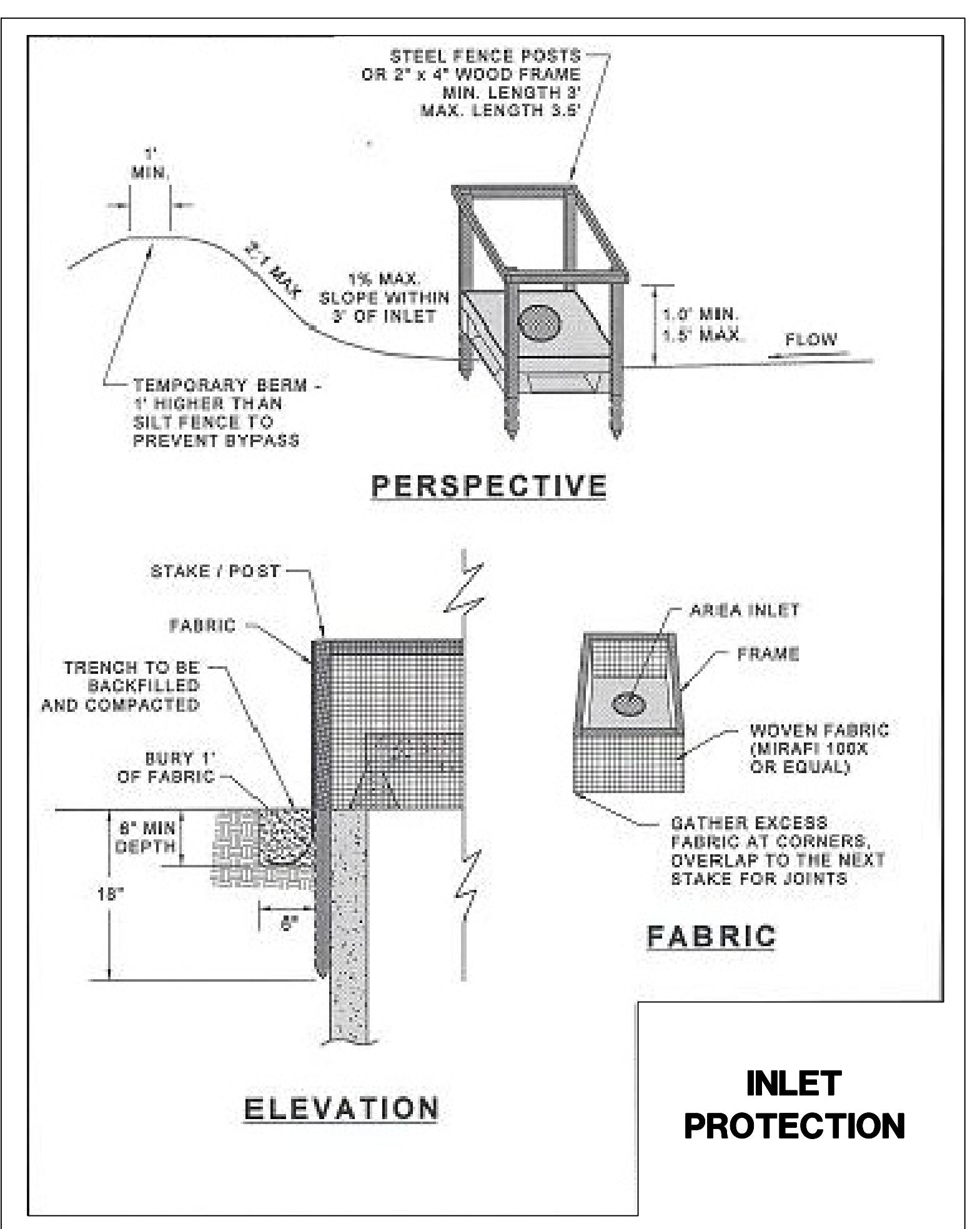
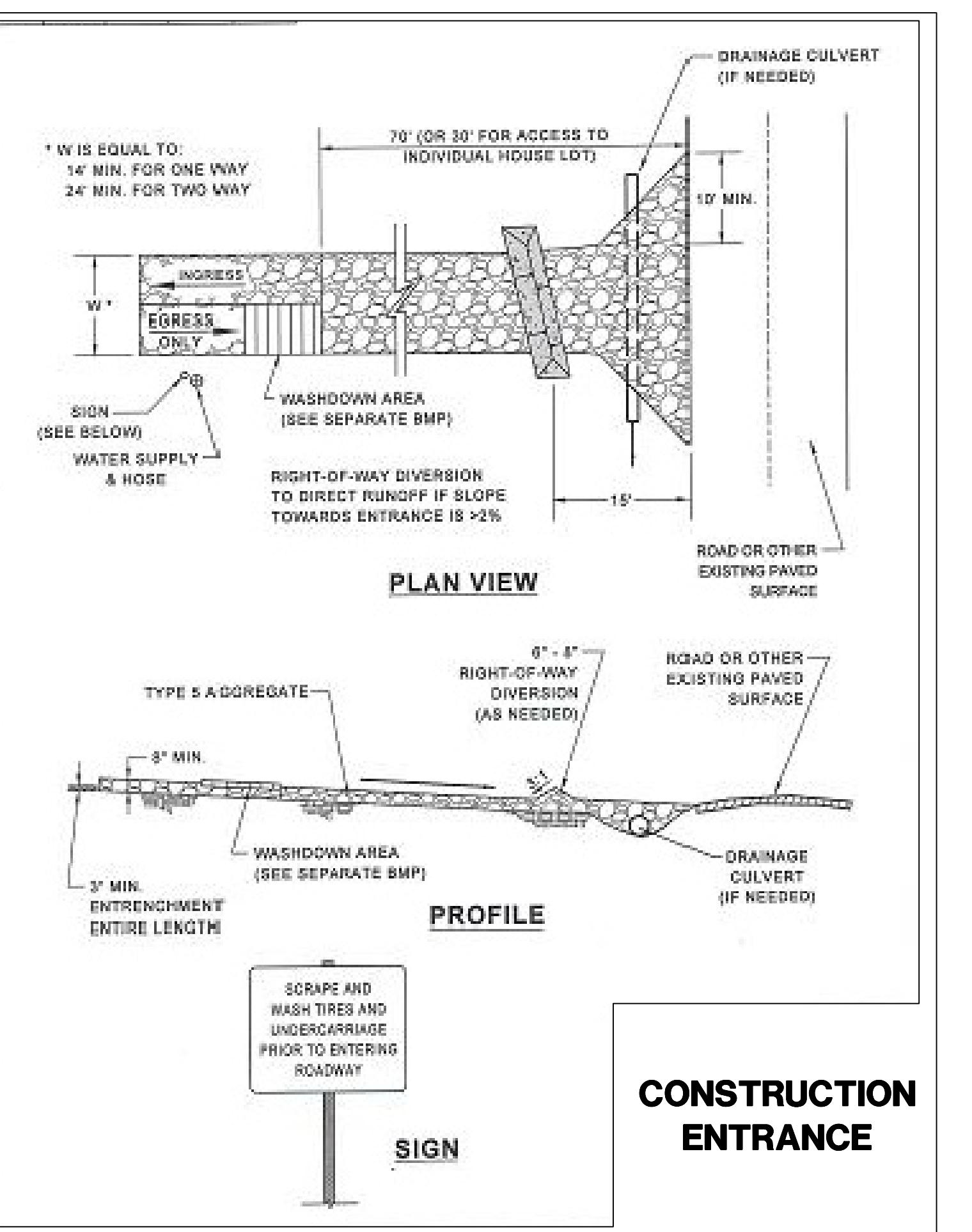
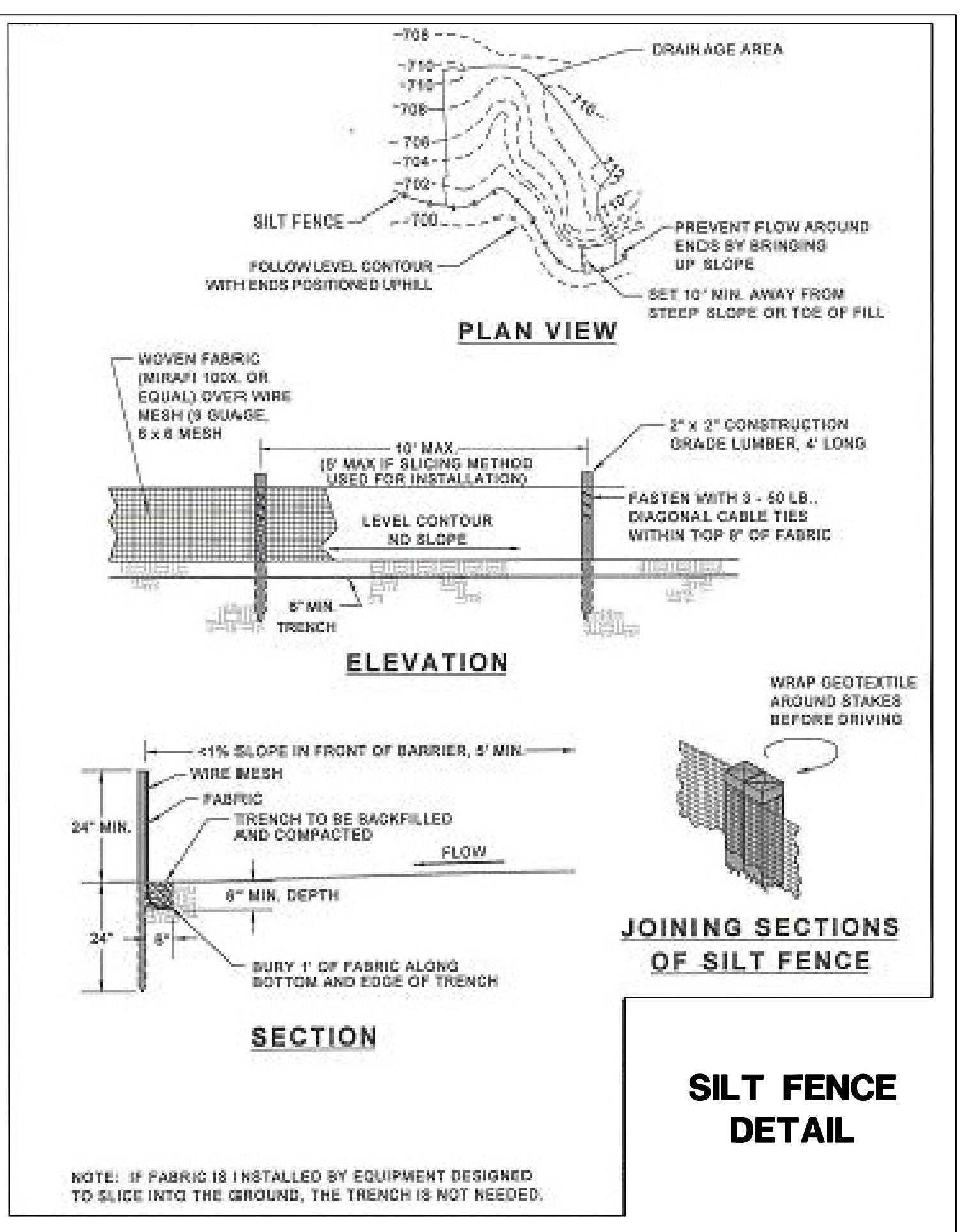
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JOB NUMBER: 4331.0
DRAWN BY: JRB
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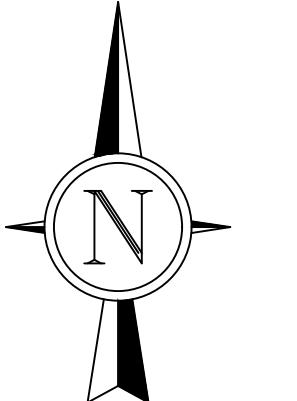
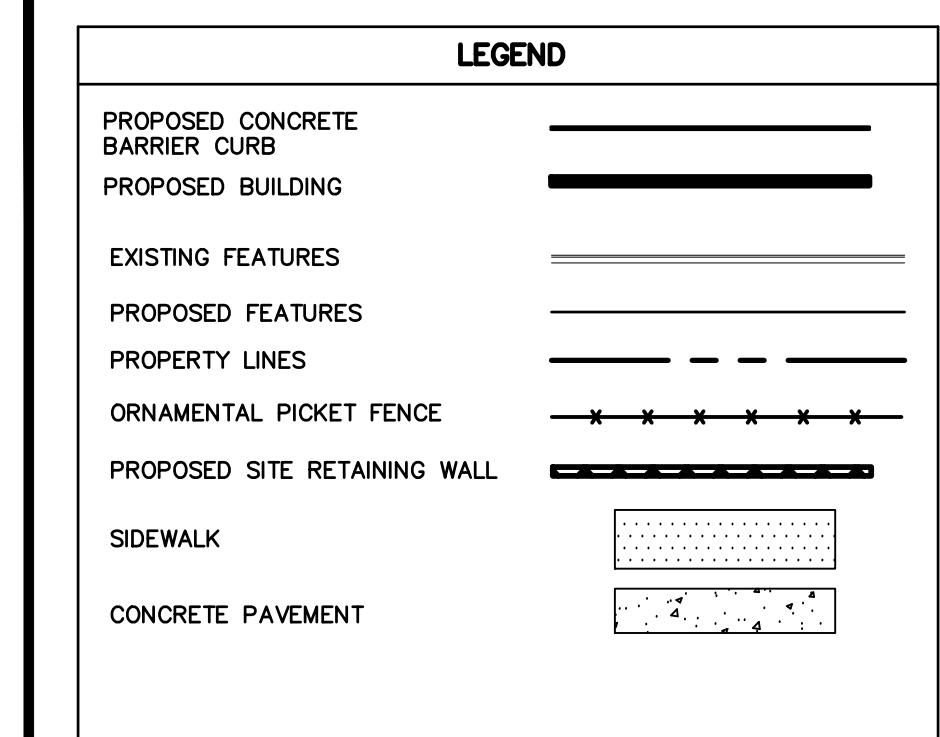
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SHEET TITLE: WASH DOWN AREA
SHEET NUMBER: 4331.0
DRAWN BY: JRB
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CHECKED BY: LJM
DATE: 12/04/25

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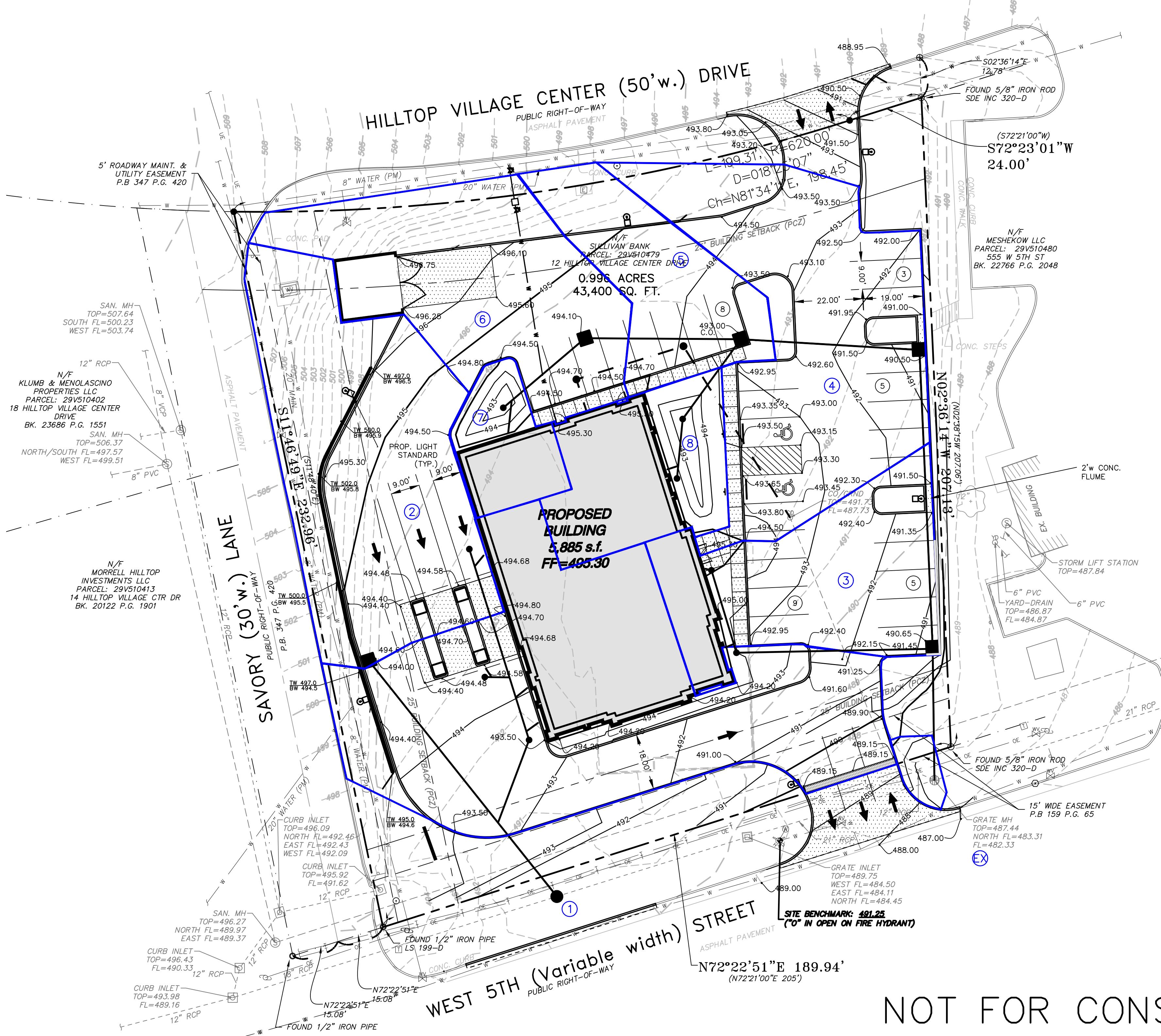
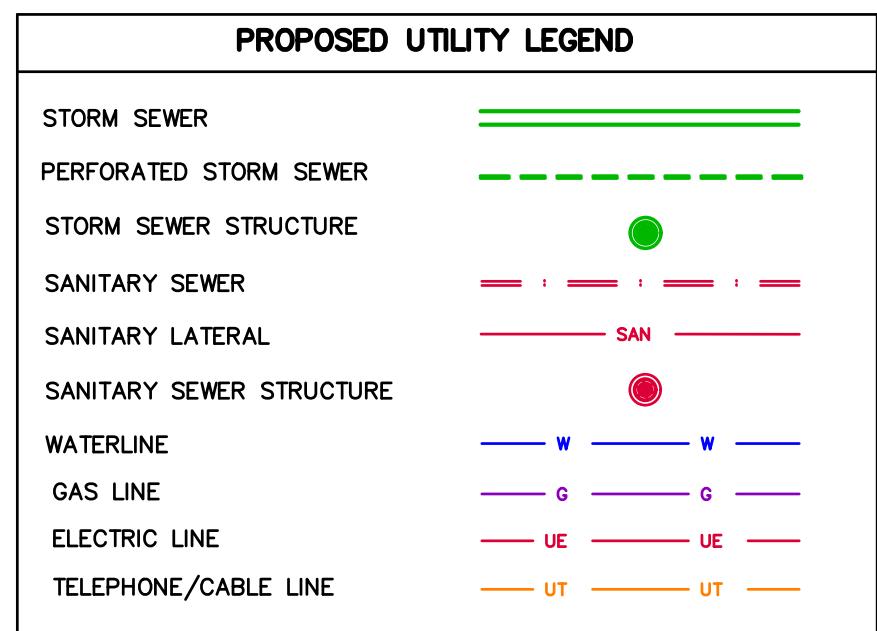
SILTATION CONTROL NOTES:

1. EROSION AND SILTATION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR CONTROLLING REGULATORY AGENCY AND ADEQUATE VEGETATIVE GROWTH INSURES NO FURTHER EROSION OF THE SOIL.
2. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED AS DEEMED NECESSARY BY CITY OF EUREKA DEPT. OF PUBLIC WORKS AND/OR MISSOURI DEPT. OF TRANSPORTATION. (MoDOT).
3. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1 (3' HORIZONTAL: 1' VERTICAL).
4. PARKING ON NON-SURFACED AREAS IS PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVING CONDITIONS. CONTRACTOR SHALL KEEP ROAD CLEAR OF MUD AND DEBRIS. THE OWNER SHALL, AT ALL TIMES, CONTAIN MUD AND OTHER SPOILS ON SITE; NO VEHICLE, TRAILER OR CONSTRUCTION EQUIPMENT IS TO DEPOSIT MUD OR ANY OTHER MATERIAL ON PUBLIC STREETS.
5. STORM SEWER PIPES, OUTLETS AND CHANNELS SHALL BE PROTECTED BY SILT BARRIERS AND KEPT FREE OF WASTE AND SILT AT ALL TIMES PRIOR TO FINAL SURFACE STABILIZATION AND/OR PAVING.
6. SILTATION FENCES AND OR SILT LOGS SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENT WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 THE HEIGHT OF THE SILTATION FENCE OR FIBRE ROLL.
7. IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF A PERMANENT GROUND COVER, A FAST GERMINATING ANNUAL SUCH AS RYE GRASSES OR SUDAN GRASSES SHALL BE UTILIZED TO RETARD EROSION. IF ADEQUATE STORMWATER DETENTION AND EROSION CONTROL DEVICES HAVE NOT BEEN ESTABLISHED.
8. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF SILT FENCE, END RUNS AND UNDERCUTTING BEHIND SILT FENCING.
9. NECESSARY REPAIRS TO FENCES OR REPLACEMENT OF FENCE SHALL BE ACCOMPLISHED PROMPTLY.
10. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
11. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT CONTROL DEVICE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEDED.
12. ALL EXPOSED SLOPES WHETHER TEMPORARY OR PERMANENT SHALL BE SEDED PER SPECIFICATIONS IMMEDIATELY UPON COMPLETION. ST. LOUIS COUNTY RIGHT-OF-WAY SHALL BE SODDED, NOT SEDED.
13. ALL FLOWLINES OF DIVERSION DITCHES AND SWALES SHALL BE PROTECTED AS NEEDED.
14. ADDITIONAL SILTATION CONTROL MAY BE REQUIRED BY AN AUTHORIZED COMPANY REPRESENTATIVE OR ST. LOUIS COUNTY.
15. ALL EXPOSED SURFACES WHERE PAVEMENT IS TO BE INSTALLED, WHETHER TEMPORARY OR PERMANENT SHALL HAVE A GRAVEL LAYER PLACED OVER THE EXPOSED SURFACE IMMEDIATELY AFTER GRADING.





GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



NOT FOR CONSTRUCTION

J4314331.Dwg1Engineering\Construction Plans\Site-2.wwg 12/3/2023 5:31 PM Lemmy Meers

PREPARED FOR:
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MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

LOC. NO. 29V510479
ZIP CODE 63025

STATE OF MISSOURI
LEONARD J. MEERS
NUMBER E-29288
12/3/25
LEONARD J. MEERS
PROFESSIONAL ENGINEER
E-29288



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PE COA# E-1470-D
PLS COA# LS-343-D

REV. NO.	REMARKS	DATE

SITE DEVELOPMENT PLAN FOR
SULLIVAN BANK
12 HILLTOP VILLAGE DR., EUREKA, MO 63025

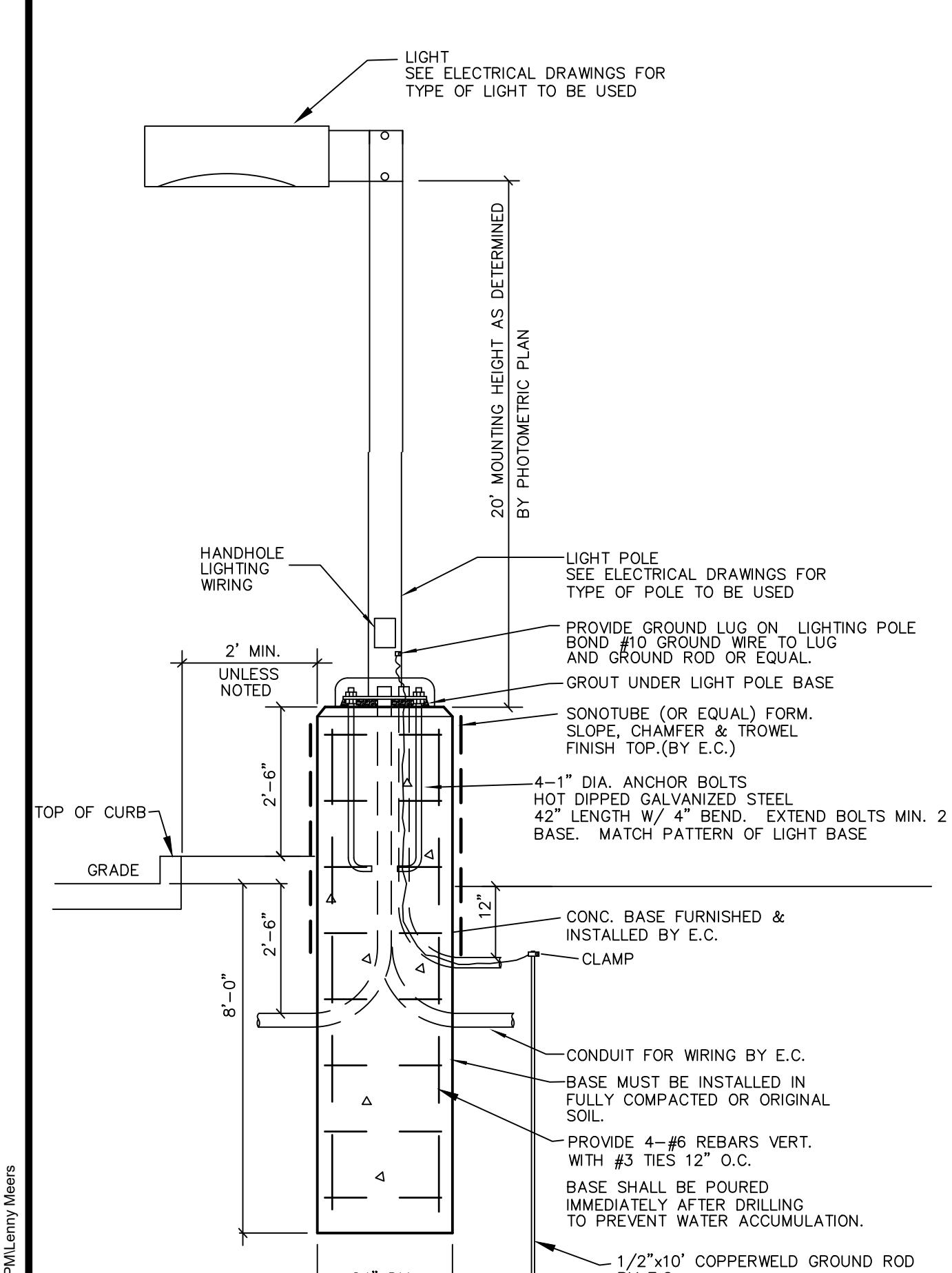
ISSUED FOR PERMIT 12/04/25
DRAINAGE AREA PLAN

SHEET TITLE	JOB NUMBER: 4331.0
DRAWN BY: JRB	
DATE: 12/04/25	
CHECKED BY: LJM	
DATE: 12/04/25	
SHEET:	

C-9

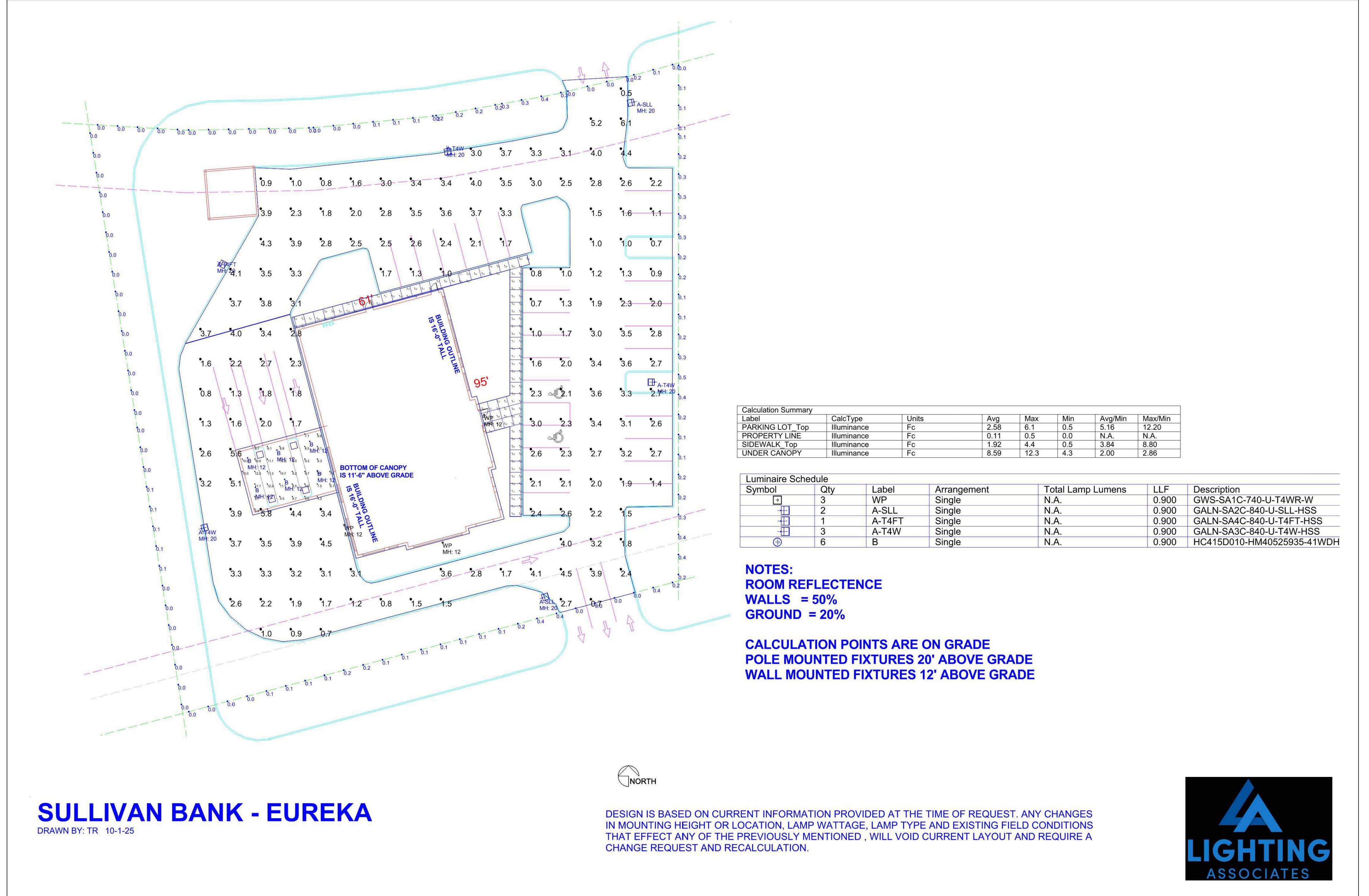
LEGEND	
PROPOSED CONCRETE BARRIER CURB	—
PROPOSED BUILDING	—
EXISTING FEATURES	—
PROPOSED FEATURES	—
PROPERTY LINES	—
ORNAMENTAL PICKET FENCE	—
PROPOSED SITE RETAINING WALL	—
SIDEWALK	—
CONCRETE PAVEMENT	—

PROPOSED UTILITY LEGEND	
STORM SEWER	—
PERFORATED STORM SEWER	—
STORM SEWER STRUCTURE	●
SANITARY SEWER	—
SANITARY LATERAL	—
SANITARY SEWER STRUCTURE	●
WATERLINE	—
GAS LINE	—
ELECTRIC LINE	—
TELEPHONE/CABLE LINE	—



LIGHT STANDARDS

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ISSUED FOR PERMIT 12/04/25
 SITE DEVELOPMENT PLAN FOR
SULLIVAN BANK

PHOTOMETRICS
 SHEET TITLE
 JOB NUMBER: 4331.0

DRAWN BY: JRB
 DATE: 12/04/25
 CHECKED BY: LJM
 DATE: 12/04/25
 SHEET:

C-11